



ORDINANCE NUMBER 2307

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED; GRANTING A SPECIFIC USE PERMIT FOR A CHURCH AT THE NORTHWEST CORNER OF WEBB CHAPEL ROAD AND VALLEY VIEW LANE IN THE R-4 ZONING DISTRICT; BY ESTABLISHING CONDITIONS OF OPERATIONS; BY APPROVING A SITE PLAN FOR IMPROVEMENT OF THE PROPERTY; REPEALING ORDINANCE NO. 1311; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); PROVIDING FOR INJUNCTION RELIEF; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the State Law with reference to amending the Zoning Ordinance Regulations have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, the governing body of the City of Farmers Branch is of the opinion that a change in such zoning should be made.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the Zoning Map of the City of Farmers Branch so as to amend the existing Specific Use Permit granted for a church to be located on the 5.6 acre tract of land at the northwest corner of Valley View Lane and Webb Chapel Road, addressed as 3035 Valley View Lane, an in the One-Family Residence District Four (R-4).

SECTION 2. That the above described property shall be used only in the manner and for the purpose provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch as herein amended and by the granting of a Specific Use Permit for a church.

SECTION 3. That the church and its associated improvements shall be constructed and specifically located in accordance with the approved site plan attached as Exhibit "A" and subject to all conditions stated herein.



RECEIVED
JAN 12 1964

OFFICE OF THE ATTORNEY GENERAL

THE STATE OF TEXAS
COUNTY OF DALLAS
I, the undersigned, Clerk of the County of Dallas, Texas, do hereby certify that the within and foregoing is a true and correct copy of the original as the same appears in the records of the County of Dallas, Texas.

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of the County of Dallas, Texas, at Dallas, Texas, this 12th day of January, 1964.

CLERK OF THE COUNTY OF DALLAS, TEXAS

By _____
Deputy Clerk

NOTED FOR THE RECORD

FILED

RECORDED

48
36
24
12
0

36
12
45

SECTION 4. That until such time that all the proposed improvements shown on the approved site plan are installed or substantially under construction, the Church shall maintain the existing screening hedge parallel to its north and west property lines in a vital and healthy state (including adding plant material to fill in existing gaps and replacement of dead or diseased plant material as necessary) so as to constitute an effective screen. "Substantially under construction" shall mean construction to such a point that continued preservation and maintenance of the screening hedge is no longer practicable, as so determined by the City Manager or appointed designee.

SECTION 5. That the masonry screening wall parallel to the west property line be installed for its full extent north of the alley between Marsann Lane and Las Campanas Drive prior to, or in conjunction with, the installation of any proposed playground equipment.

SECTION 6. That those areas of the Church property where ponding of storm water is presently occurring, generally in proximity to the west property line, be regraded to effect positive flow of storm water drainage to the alley between Marsann Lane and Las Campanas Drive prior to the installation of any proposed playground equipment;

SECTION 7. That the full extent of the masonry wall and wrought iron fence shall be installed prior to, or simultaneously with, the construction of the parking lot or the building addition, whichever is built first. Supplemental perimeter landscaping required as shown on the approved site plan and as amended herein, shall be installed upon completion of the masonry wall and wrought iron fencing. Drainage flume improvements shall be installed concurrent with construction of the north masonry wall.

SECTION 8. That there shall be no driveways or other vehicular access from the Church property to Las Campanas Drive, Marsann Lane, and Cinco Street, or to the alleys between Las Campanas Drive, Marsann Lane, and Cinco Street.

SECTION 9. That prior to any use of the proposed parking area, the masonry screening wall, wrought iron fence, all required landscaping, and the concrete flume shall be in place and in full compliance with the approved site plan, pertinent City codes, ordinances and standards, and any other conditions herein required.

SECTION 10. That there shall be no overnight bus parking in the church parking lot immediately adjacent to or within forty feet (40') of the north masonry wall.

SECTION 11. That the proposed Dwarf Burford Hollies to be planted along the wrought iron fence fronting Marsann Lane be replaced with photinias, or similar large screening shrub subject to the approval of the City Manager or appointed designee and that said shrubs shall be no smaller than a 5 gallon container size at time of planting, full and bushy in character, spaced at three feet on centers.

SECTION 12. That there shall be no expansion of the auditorium or balcony beyond the extent shown on the approved site plan unless such expansion is approved in the form of an amendment to the Specific Use Permit by City Council, following a recommendation from the Planning and Zoning Commission. The future building expansion identified on the site plan shall be for purposes other than expansion of the auditorium or balcony.

SECTION 13. That the building addition and masonry wall shall be constructed of materials that are compatible in appearance to the existing building.

SECTION 14. That the masonry wall and wrought iron fence locations at Las Campanas Drive and Marsann Lane are approved subject to the appropriate variance being obtained to allow a seven (7') foot tall wall and fence to be constructed within the required front yard setback area along Marsann Lane and Las Campanas Drive.

SECTION 15. That the conditions, provisions and requirements of this ordinance shall supersede the "General Notes" found on sheet A1.1 of the attached site plan and any other statements, notations or indications shown elsewhere on the site plan that may contradict the purpose or intent of this ordinance.

SECTION 16. That Ordinance No. 1311 is hereby repealed.

SECTION 17. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punished by a fine not to exceed the sum of two-thousand (\$2,000.00) dollars for each offense.

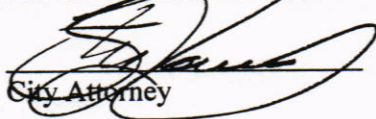
SECTION 18. If any section, paragraph, subdivision, clause, phrase, or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

SECTION 19. In addition to, and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

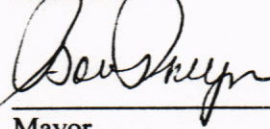
SECTION 20. This ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, and as the law in such case provides.

Duly passed by the City Council of the City of Farmers Branch, Texas, on this the 14th day of April, 1997.

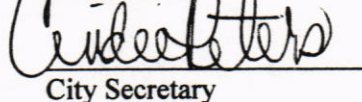
APPROVED AS TO FORM:


City Attorney

ADOPTED:


Mayor

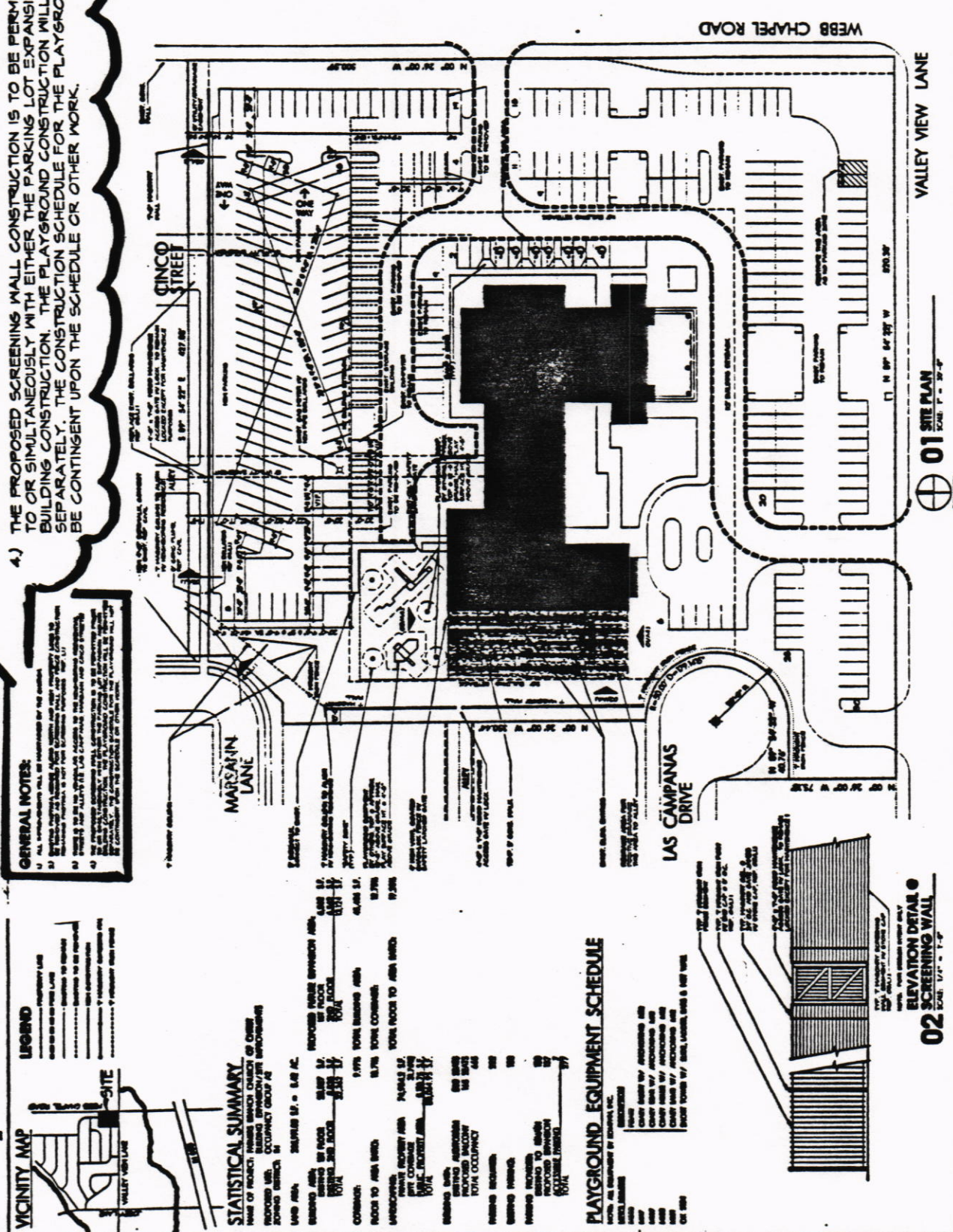
ATTEST:


City Secretary

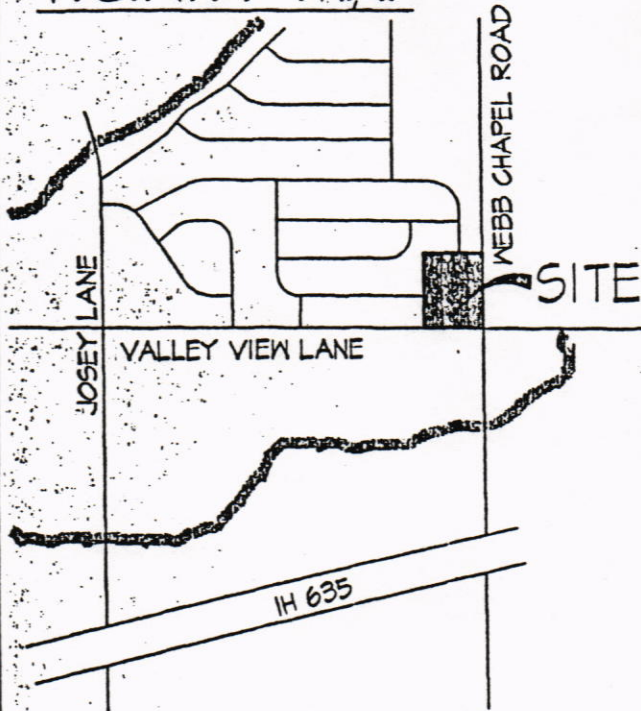
GENERAL NOTES:

- 1.) ALL IMPROVEMENTS WILL BE MAINTAINED BY THE CHURCH.
- 2.) EXISTING PHOTOINIA HEDGE ALONG NORTH AND WEST PROPERTY LINES TO BE REMOVED AS REQUIRED FOR SCREENING WALL AND FENCE CONSTRUCTION. REMAINING PHOTOINIA IS NOT FOR SCREENING PURPOSES. REF. L1!
- 3.) THERE IS TO BE NO VEHICULAR ACCESS TO THE NEIGHBORING RESIDENTIAL STREETS AND ALLEYS (I.E. LAS CAMPANAS, MARSANN AND CINCO STREETS)
- 4.) THE PROPOSED SCREENING WALL CONSTRUCTION IS TO BE PERMITTED PRIOR TO OR SIMULTANEOUSLY WITH EITHER THE PARKING LOT EXPANSION AND/OR BUILDING CONSTRUCTION. THE PLAYGROUND CONSTRUCTION WILL BE PERMITTED SEPARATELY. THE CONSTRUCTION SCHEDULE FOR THE PLAYGROUND WILL NOT BE CONTINGENT UPON THE SCHEDULE OR OTHER WORK.

PROPOSED ORD. No. 2067
SUPERSEDES SITE PLAN NOTES }



VICINITY MAP



LEGEND

- PROPERTY LINE
- FIRE LANE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW CONSTRUCTION
- 7' MASONRY SCREEING WALL
- 7' WROUGHT IRON FENCE

STATISTICAL SUMMARY

NAME OF PROJECT: FARMERS BRANCH CHURCH OF CHRIST
BUILDING EXPANSION/SITE IMPROVEMENTS
PROPOSED USE: OCCUPANCY GROUP A2
ZONING DISTRICT: R4

LAND AREA: 235,991.03 S.F. = 5.42 AC.

BUILDING AREA:

| | | |
|--------------------|--------|------|
| EXISTING 1ST FLOOR | 23,527 | S.F. |
| EXISTING 2ND FLOOR | 8,835 | S.F. |
| TOTAL | 32,362 | S.F. |

PROPOSED FUTURE EXPANSION AREA:

| | | |
|-----------|--------|------|
| 1ST FLOOR | 6,562 | S.F. |
| 2ND FLOOR | 6,562 | S.F. |
| TOTAL | 13,124 | S.F. |

COVERAGE: 9.97% TOTAL BUILDING AREA: 45,486 S.F.

FLOOR TO AREA RATIO: 13.71% TOTAL COVERAGE: 12.75%

LANDSCAPING:

| | | |
|-----------------------|-----------|------|
| PRIVATE PROPERTY AREA | 74,954.2 | S.F. |
| (SITE COVERAGE | 31.76%) | |
| PUBLIC PROPERTY AREA | 5,110.75 | S.F. |
| TOTAL | 80,064.95 | S.F. |

TOTAL FLOOR TO AREA RATIO: 19.28%

BUILDING DATA:

| | |
|---------------------|-----------|
| EXISTING AUDITORIUM | 500 SEATS |
| PROPOSED BALCONY | 165 SEATS |
| TOTAL OCCUPANCY | 665 |

PARKING REQUIRED: 222

EXISTING PARKING: 188

PARKING PROVIDED:

| | |
|--------------------|-----|
| EXISTING TO REMAIN | 133 |
| PROPOSED EXPANSION | 137 |
| ACCESSIBLE PARKING | 7 |
| TOTAL | 277 |

EXHIBIT "A"
(2 of 35)

MAINTAINED BY THE CHURCH.
NORTH AND WEST PROPERTY LINES TO
SCREENING WALL AND FENCE CONSTRUCTION
SCREENS PURPOSES. REF. 111.
ACCESS TO THE NEIGHBORING RESIDENTIAL
NYPANAS, MARSHALL AND CINCO STREETS
CONSTRUCTION IS TO BE PERMITTED PRIOR
THE PARKING LOT EXPANSION AND OR
WYBROOK CONSTRUCTION WILL BE PERMITTED
SCHEDULE FOR THE PLAYGROUND WILL NOT
BE OR OTHER WORK.



AN



EXHIBIT "A" (5 of 35)

ALLIANCE ARCHITECTS
 3005 VALLEY VIEW LANE
 FARMERS BRANCH, TEXAS 75224
 PHONE (972) 334-1000
 FAX (972) 334-1001

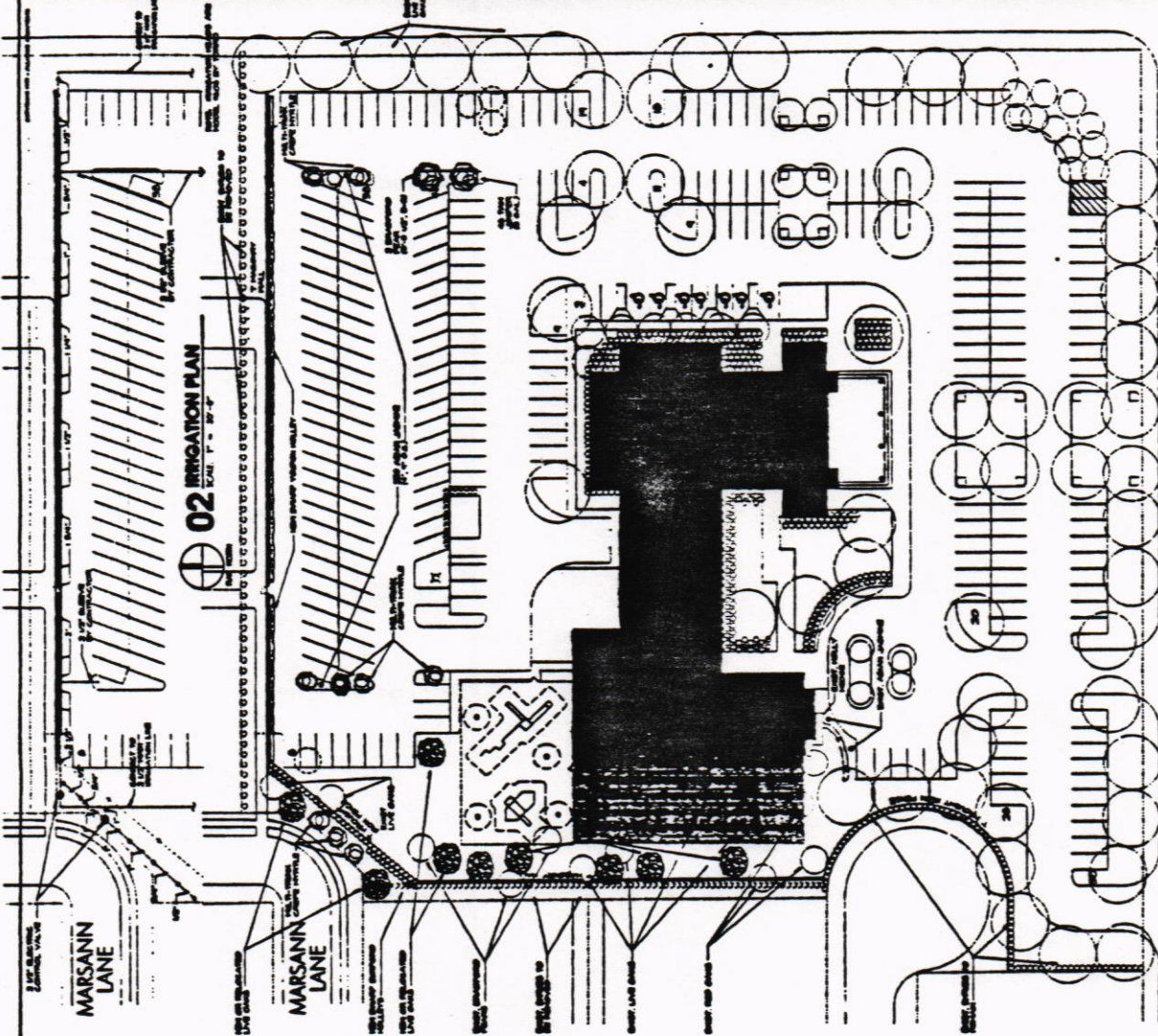
**FARMERS BRANCH
 CHURCH OF CHRIST**
 3005 VALLEY VIEW LANE
 FARMERS BRANCH, TEXAS 75224

LANDSCAPE PLAN
 PARKING EXPANSION
 REVISIONS:

PROJECT NO.: 95142

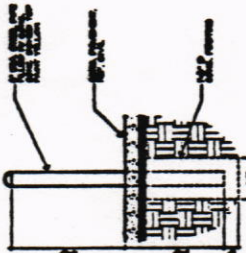
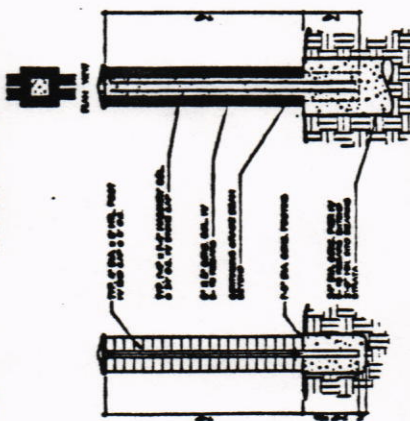
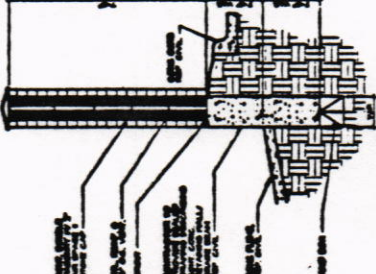
17.1

DATE: 10 MAR 1997



LEGEND
 --- EXISTING LANDSCAPING TO REMAIN
 --- EXISTING LANDSCAPING TO BE REMOVED
 --- NEW LANDSCAPING
 --- EXISTING PAVEMENT
 --- NEW PAVEMENT
 --- EXISTING DRIVE
 --- NEW DRIVE

GENERAL NOTES
 1. ALL NEW PLANTING TO BE 10' MIN. IN CALIBER
 2. ALL NEW PLANTING TO BE 10' MIN. IN CALIBER



LEGEND

- EXISTING LANDSCAPING TO REMAIN
- EXISTING LANDSCAPING TO BE
REMOVED OR RELOCATED AS REQUIRED
- NEW OR RELOCATED LANDSCAPING
- 7' MASONRY SCREEING WALL
- 7' WROUGHT IRON FENCE

GENERAL NOTES

- 1.) ALL NEW TREES TO BE MIN. 2" CALIPUR
- 2.) ALL NEW SHRUBS TO BE MIN. 3 GALLON

EXHIBIT "A" (6 of 35)

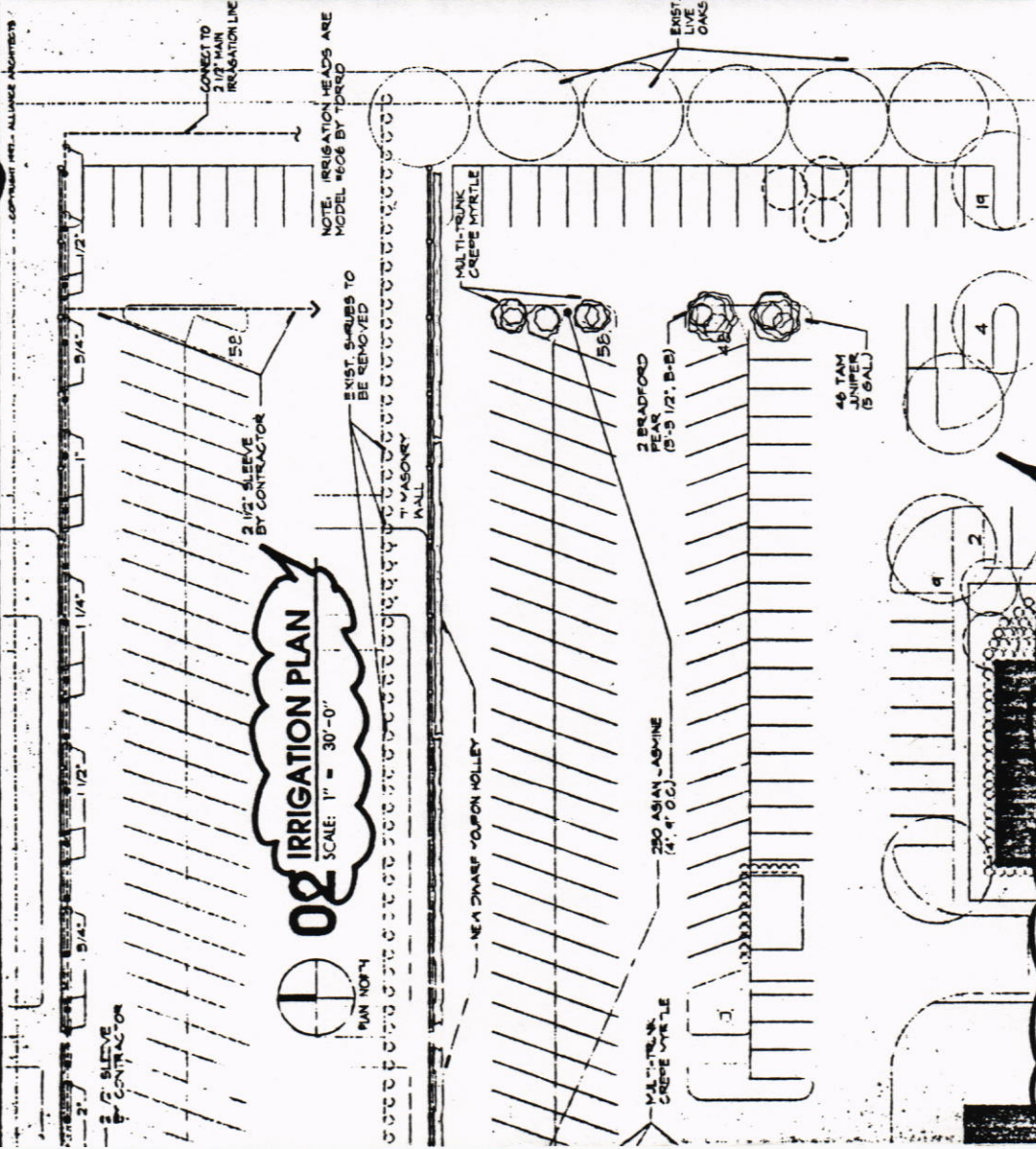
PARKING ADDITION

ALLIANCE
ARCHITECTS

12760 Meritt Drive
Suite 550 LB 52
Dallas, Texas 75251
(972) 233-0400
Fax: (972) 233-2259

02 IRRIGATION PLAN

SCALE: 1" = 30'-0"



PROPOSED LANDSCAPE

Proposed Landscape for playground & future addition

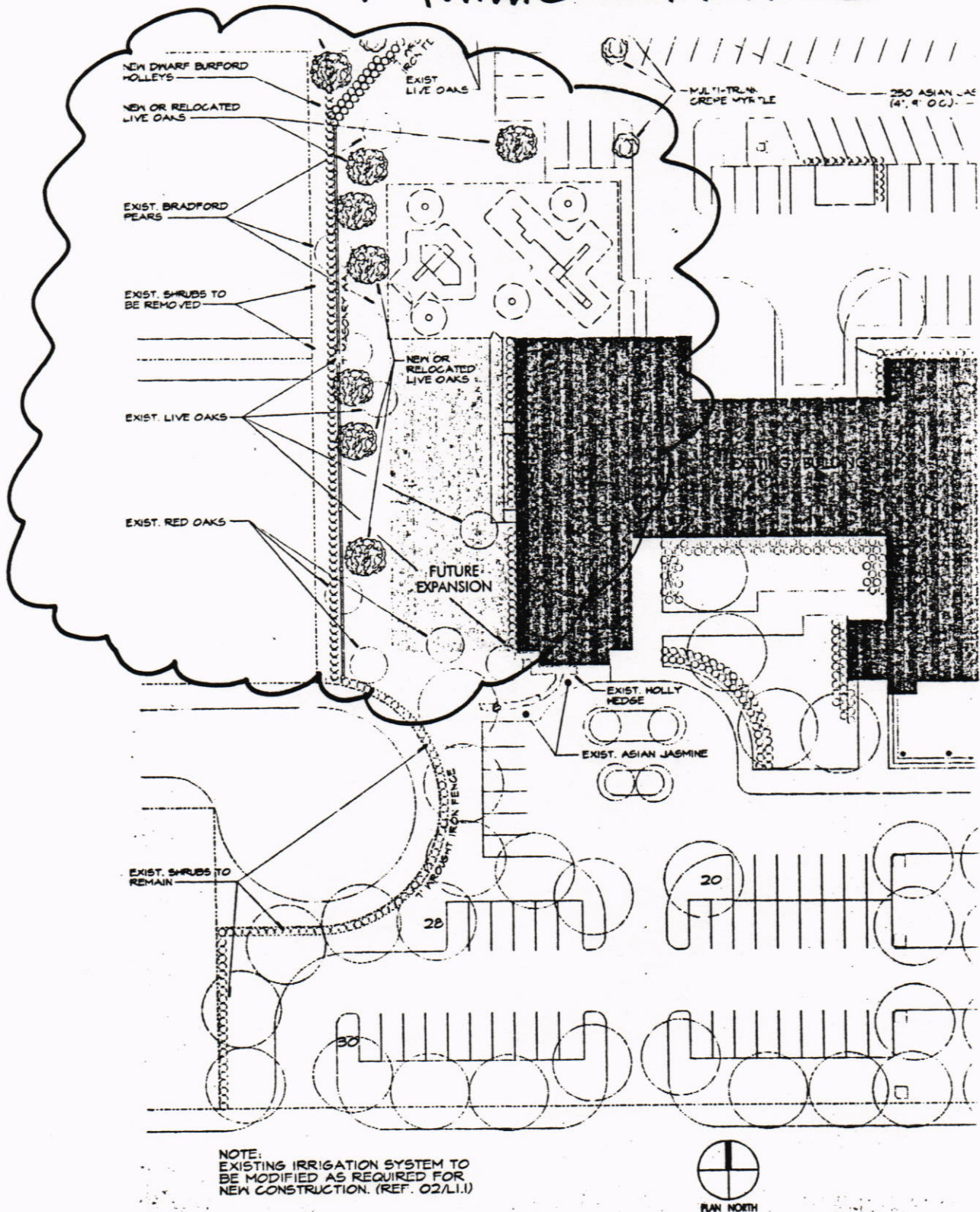


EXHIBIT "A" (9 of 35)

3K

EXHIBIT "A" (10 of 35)



MTL. REINF. @
16" O.C. VERT.

GROUT

CONTRACTOR TO
PROVIDE SEALED
DRAWING DESCRIBING
CONT. CONC.
RETAINING WALL/
GRADE BEAM
REF. CIVIL _____

CONC FLUME,
REF. CIVIL —

VOID BOX

CONC CURB
REF. CIVIL -

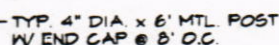
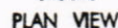
06 BOLLARD DETAIL

SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

05 SECTION DETAIL @ BRICK
SCREENING WALL
SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"



TYP. 1'-4" x 1'-4" MASONRY COL.
● 24' O.C. W/ STONE CAP ———

8" x 8" CONC. COL. W/
5-#5 REBARS

CONTINUOUS GRADE BEAM
BEYOND _____

- 1'-6" DIA. CONC. FOOTING

24" DIA. CONC. PIER W/
5- #5 REBARS. EXTEND
2'-0" MIN. INTO BEARING
STRATA

**04 SECTION DETAIL @
IRON FENCE COLUMN**
SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

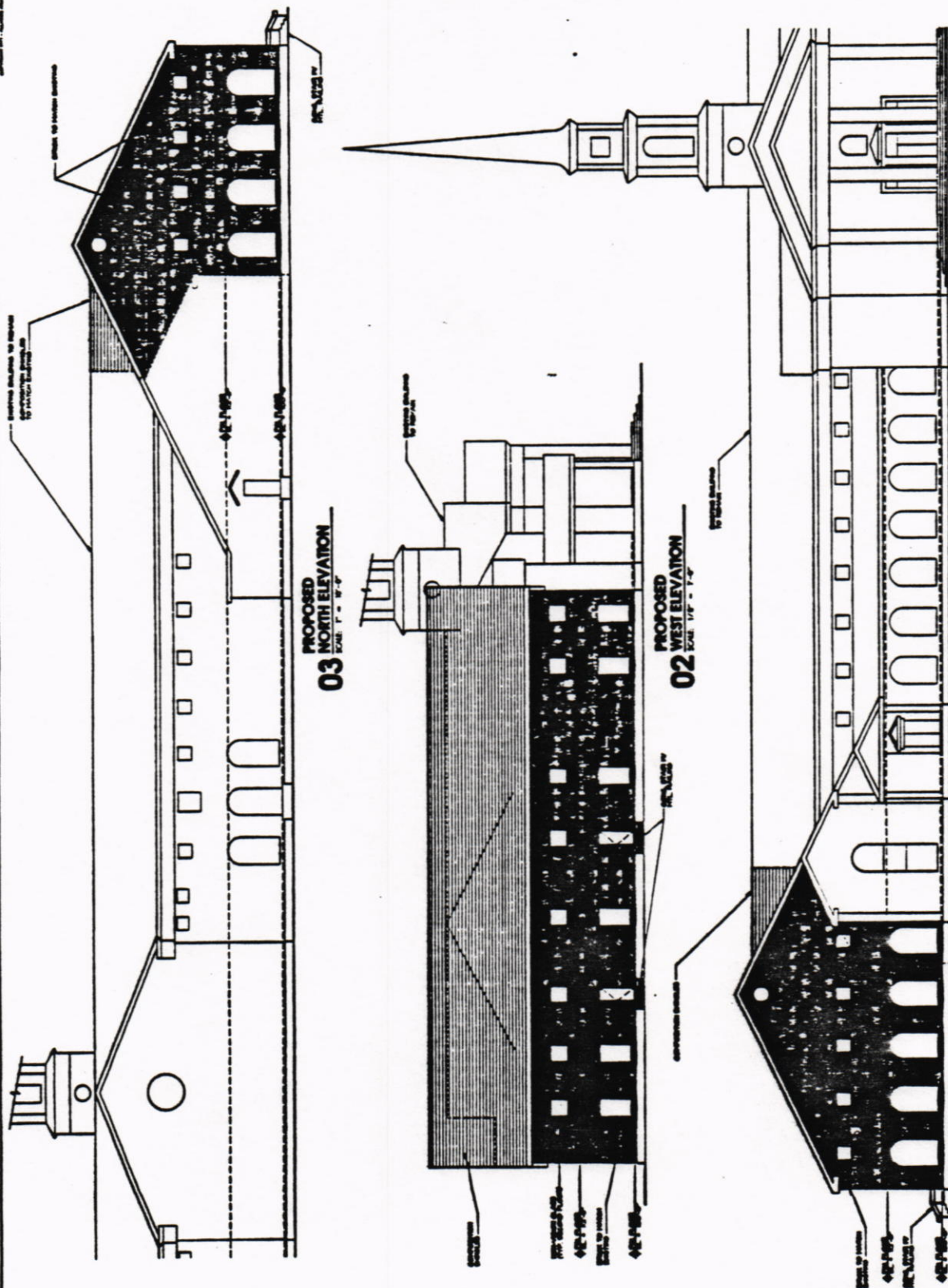


03 SECTION DETAIL @ BRICK SCREENING WALL COLUMN

SCAFF. 1/2" = 1'-0"

(34)

EXHIBIT "A" (11 of 35)



ALLIANCE ARCHITECTS
 3035 VALLEY VIEW LANE
 FARMERS BRANCH, TEXAS 75115
 (972) 344-4400
 FAX (972) 344-4400

**FARMERS BRANCH
 CHURCH OF CHRIST**

**3035 VALLEY VIEW LANE
 FARMERS BRANCH, TEXAS 75115**

EXTERIOR ELEVATIONS

REVISIONS:

PROJECT NO.: 95152

A4.1

DATE: 04 MAR 1997

3M

EXHIBIT "A" (12 of 35)

COPYRIGHT 1987 - ALLIANCE A

EXISTING BUILDING TO REMAIN
COMPOSITION SHINGLES
TO MATCH EXISTING

BRICK TO MATCH EXISTING

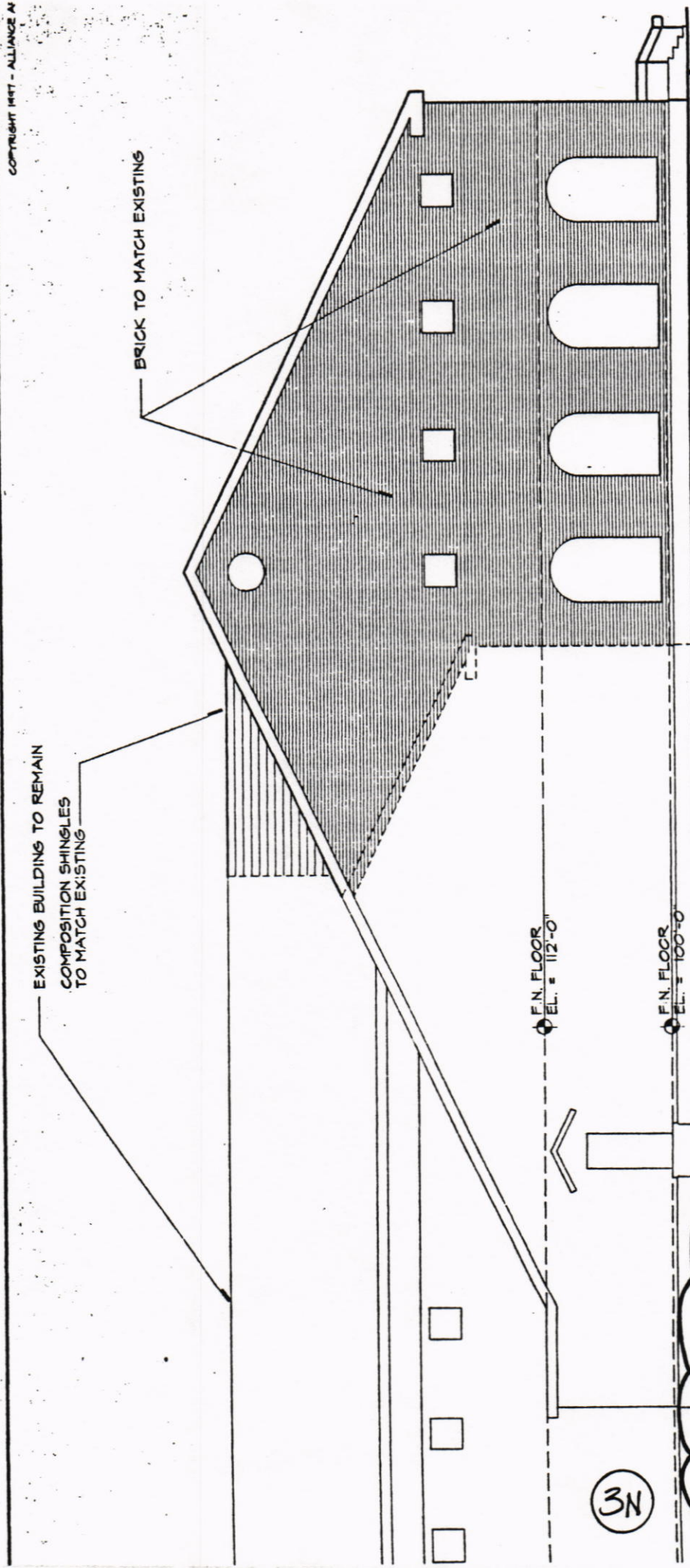
CONC. STAIR W/
MTL. RAILING

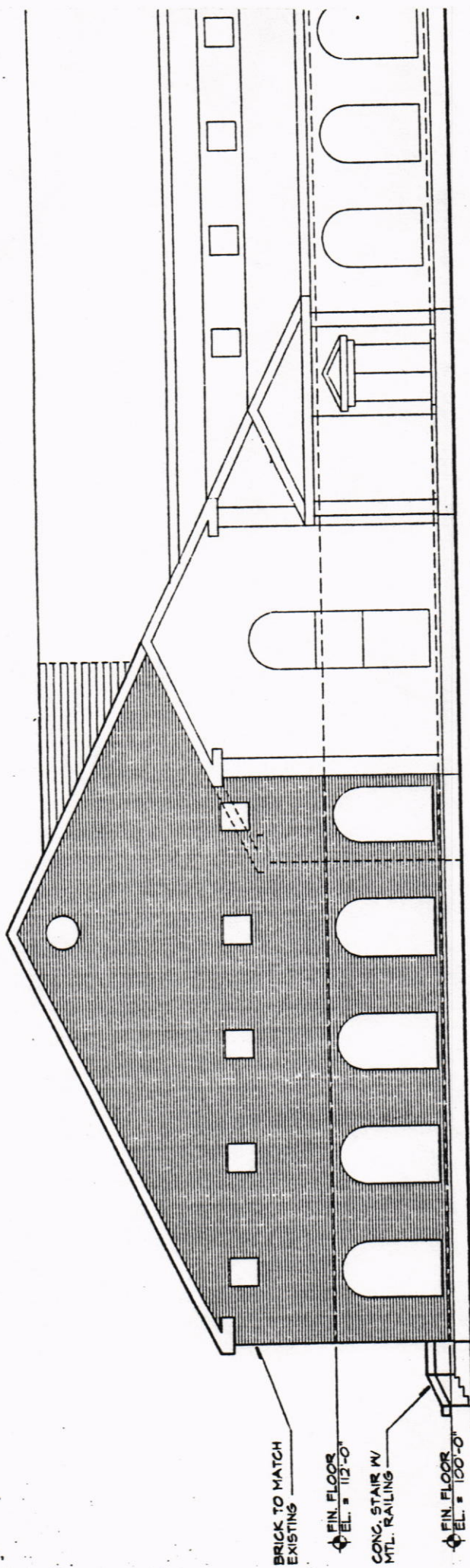
F.N. FLOOR
EL. = 112'-0"

F.N. FLOOR
EL. = 100'-0"

3N

PROPOSED
NORTH ELEVATION





PROPOSED SOUTH ELEVATION

PROPOSED WEST ELEVATION

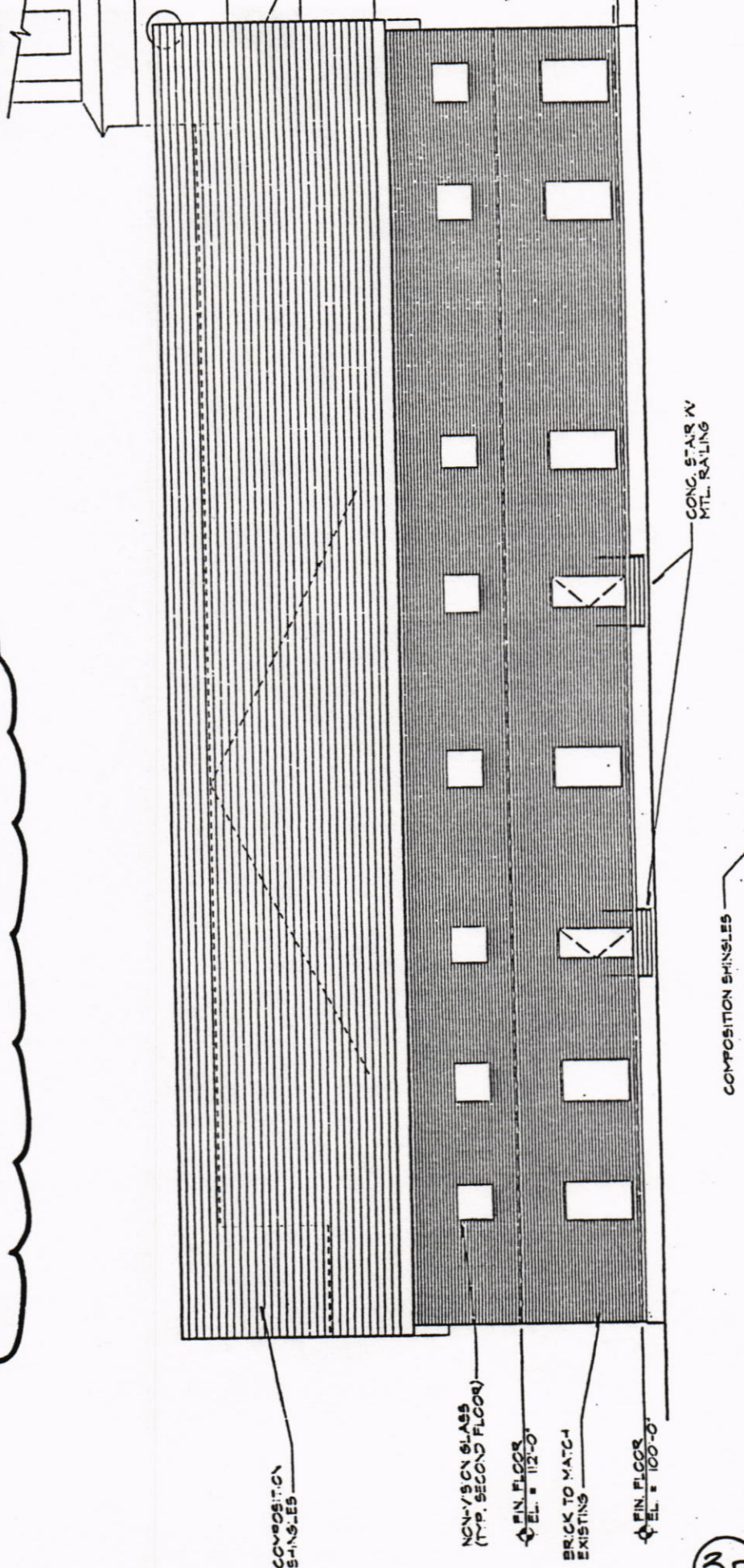
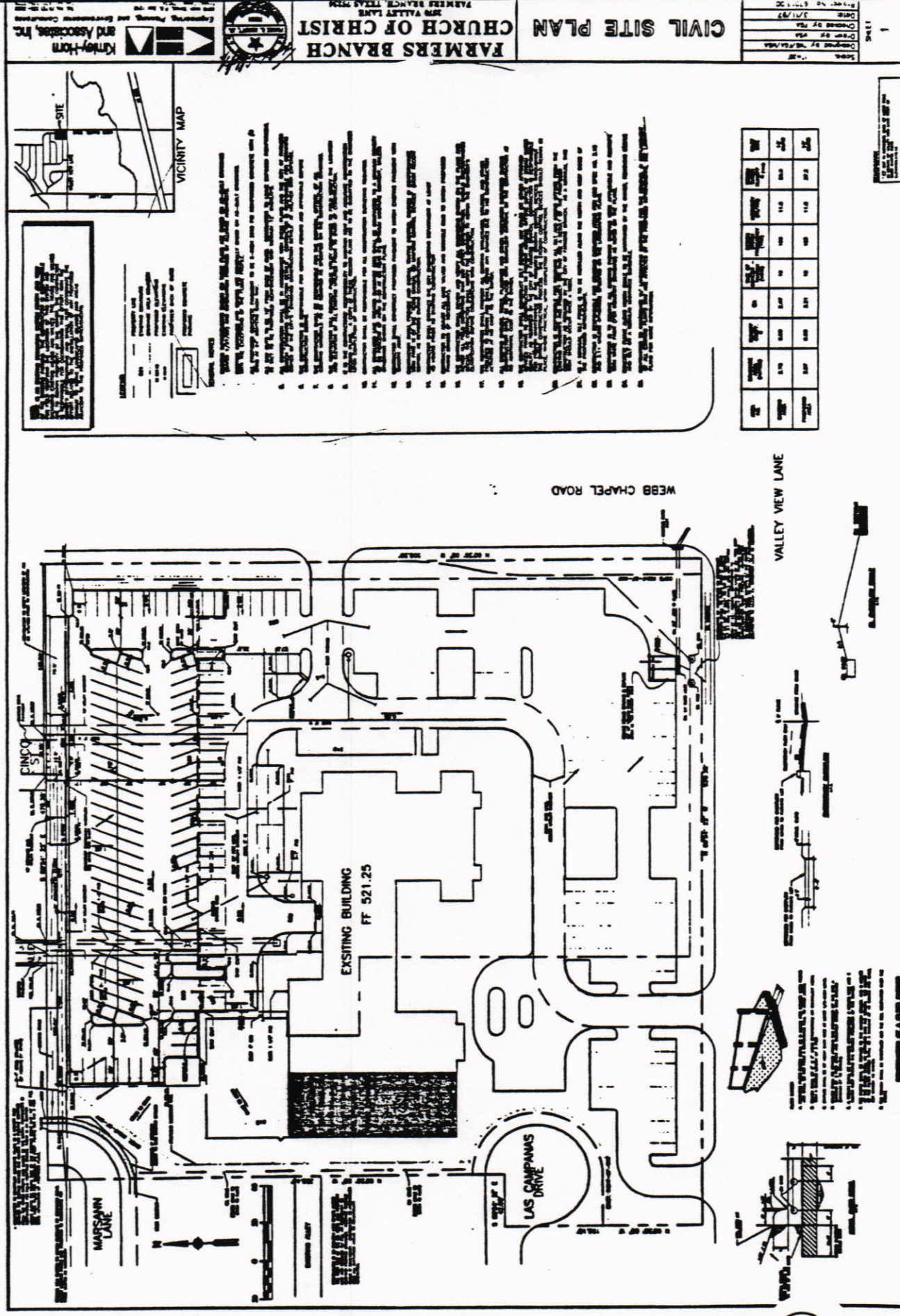
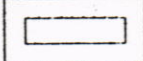


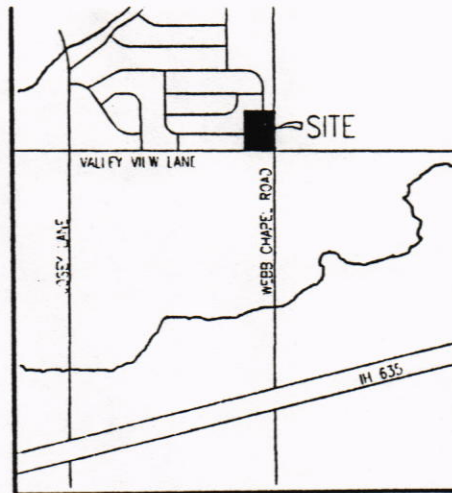
EXHIBIT "A" (15 of 35)



NOTE:
THERE IS AN EXISTING IRRIGATION SYSTEM NORTH AND WEST OF THE EXISTING PARKING. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF THIS SYSTEM AND SALVAGING EXISTING HEADS AND VALVES. THE HEADS AND VALVES ARE TO REMAIN PROPERTY OF THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THIS EFFORT WITH THE OWNER'S REPRESENTATIVE AND SHALL ALSO COORDINATE THE EFFORT RELATED TO THE INSTALLATION OF ANY PROPOSED CONDUIT TO SERVE LANDSCAPED ISLANDS AND AREAS ADJACENT TO THE PROPOSED IMPROVEMENTS.

LEGEND

| | |
|---|---------------------------|
| --- | PROPERTY LINE |
| 521 | EXISTING CONTOURS |
| --- | DRAINAGE AREA BOUNDARY |
| TL 520 12 | PROPOSED ELEVATIONS |
| IC 520 02 | EXISTING ELEVATIONS |
| --- | PROPOSED BACK OF CURB |
|  | PROPOSED CONCRETE PARKING |



VICINITY MAP

GENERAL NOTES

- EXISTING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED ON AS-BUILT DRAWINGS (DATED 1/27/89) AND INFORMATION PROVIDED BY ALLIANCE ARCHITECTS.
- EXISTING CONTOURS AND GRADES ARE GENERALLY BASED ON AS-BUILT DRAWINGS. WITH THE EXCEPTIONS OF THE FLUME PROFILE.
- ALL PROPOSED CONCRETE PAVEMENT TO BE 5-INCH 3000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS EACH WAY.
- ALL SAW CUTS TO BE 18" FROM BACK OF CURB. CONTRACTOR TO LEAVE EXPOSED REINFORCEMENT IN TACT TO TIE PROPOSED REINFORCEMENT WITH MINIMUM 12" OVERLAPS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF FARMERS BRANCH "STANDARD CONSTRUCTION DETAILS". CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF THE CITY'S "STANDARD CONSTRUCTION DETAILS" AT HIS/HER OWN EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL, OFFSITE, OF ALL EXISTING MATERIALS TO BE REMOVED AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.
- THE CONTRACTOR WILL CONTACT PUBLIC UTILITY COMPANIES TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- IT IS THE CONTRACTORS' RESPONSIBILITY TO MAINTAIN NEAT AND ACCURATE CONSTRUCTION RECORD PLANS. A COPY OF THESE RECORD PLANS ARE TO BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEYING REQUIRED.
- ALL STABILIZED LIME TREATED SUBGRADE (6%) SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95 PERCENT OF ASTM D-69 AT OR NEAR ITS OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS.
- CONTRACTOR SHALL CONSTRUCT PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH SMOOTH JOINT.
- CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE "TEXAS MANUAL ON UNIFORM CONTROL DEVICES" (MOST RECENT EDITION, AS REVISED) DURING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR TO ADJUST ALL GATE VALVES AND MANHOLE RIMS TO MATCH PROPOSED PAVING GRADES (IF NECESSARY).
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND REVIEW ALL FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. SHOULD DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEER'S CLARIFICATION BEFORE COMMENCING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS CONSTRUCTION ACTIVITIES AT NO COST TO THE OWNER.
- ALL EXISTING SHRUBS, TREES, PLANTINGS AND OTHER VEGETATION DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH EQUIVALENT MATERIAL BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL CONSTRUCT SILT SCREENS, HAY BALES OR OTHER APPROVED DEVICES PRIOR TO CONSTRUCTION TO PREVENT ADVERSE OFFSITE IMPACT OF STORM WATER QUALITY, AS REQUIRED BY THE CITY OF FARMERS BRANCH. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. THE EROSION CONTROL DEVICES SHOULD REMAIN IN PLACE, WHERE PRACTICAL, UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS OFFSITE FROM THE EXISTING ROADWAYS AND PROJECT SITE THAT ARE A RESULT OF THE PROPOSED CONSTRUCTION AS REQUIRED BY THE CITY OF FARMERS BRANCH. AS A MINIMUM, THIS TASK SHOULD OCCUR ONCE A WEEK.
- AS A MINIMUM, SILT FENCE IS TO BE INSTALLED ALONG THE NORTH AND WEST SIDES OF THE PROPOSED IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR GRASSING DISTURBED AREAS PER COG SPEC NO. 3.10 AND 3.11 UNLESS OTHERWISE SPECIFIED ON THE LANDSCAPING PLANS.
- CONTRACTOR IS TO REMOVE ALL EXISTING PARKING STRIPING WERE APPLICABLE AND RESTRIPE WITH WHITE PAINT (PER INDUSTRY STANDARD) AS NOTED ON THE PLANS.
- CONCRETE FLUME ALONG NORTH SWALE TO BE MAINTAINED BY THE OWNER, REMOVING DEBRIS AND SILT ON A REGULAR MAINTANCE SCHEDULE.
- CONTRACTOR TO COORDINATE W/ LANDSCAPING CONTRACTOR FOR THE REMOVAL & REPLACEMENT OF ALL EXISTING PLANTS THAT ARE AFFECTED BY THE PROPOSED IMPROVEMENTS, SEE LANDSCAPING PLANS FOR MORE INFORMATION.

**Kimley-Horn
and Associates, Inc.**
Engineering, Planning, and Environmental Consultant
6910 Main Street, P.O. Box 1218
Frisco, Texas 75034
Tel. No. (972) 335-3353
Fax No. (972) 335-3353



**FARMERS BRANCH
CHURCH OF CHRIST**
2570 VALLEY LANE
FARMERS BRANCH, TEXAS 75234

IL SITE PLAN

3R

EXHIBIT "A" (16 of 35)

S 89°54' 22" E
42.00'

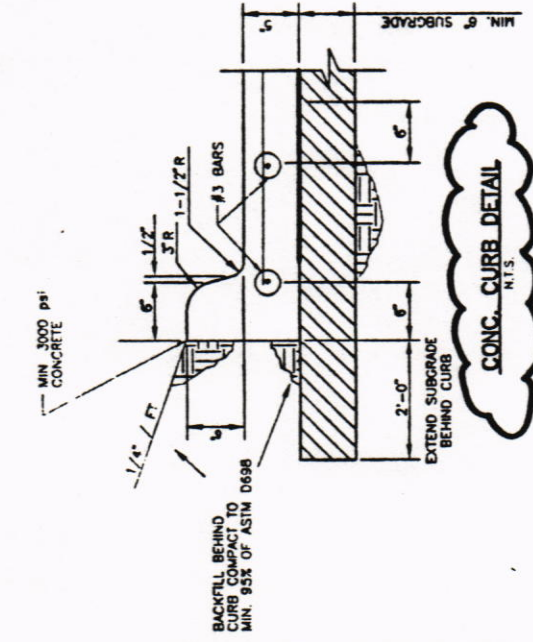
LAS CAMPANAS
DRIVE

N 00°26' 00" W
150.15'

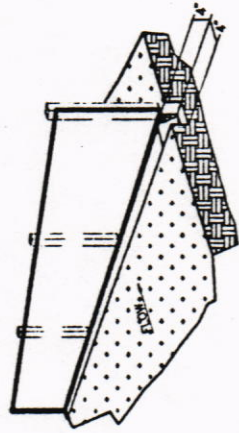
EXIST. RIGHT-OF-WAY

EXIST. FIRE LANE
ACCESS UTILITY BASEMENT

N 89°54' 22" W



CONC. CURB DETAIL
N.T.S.

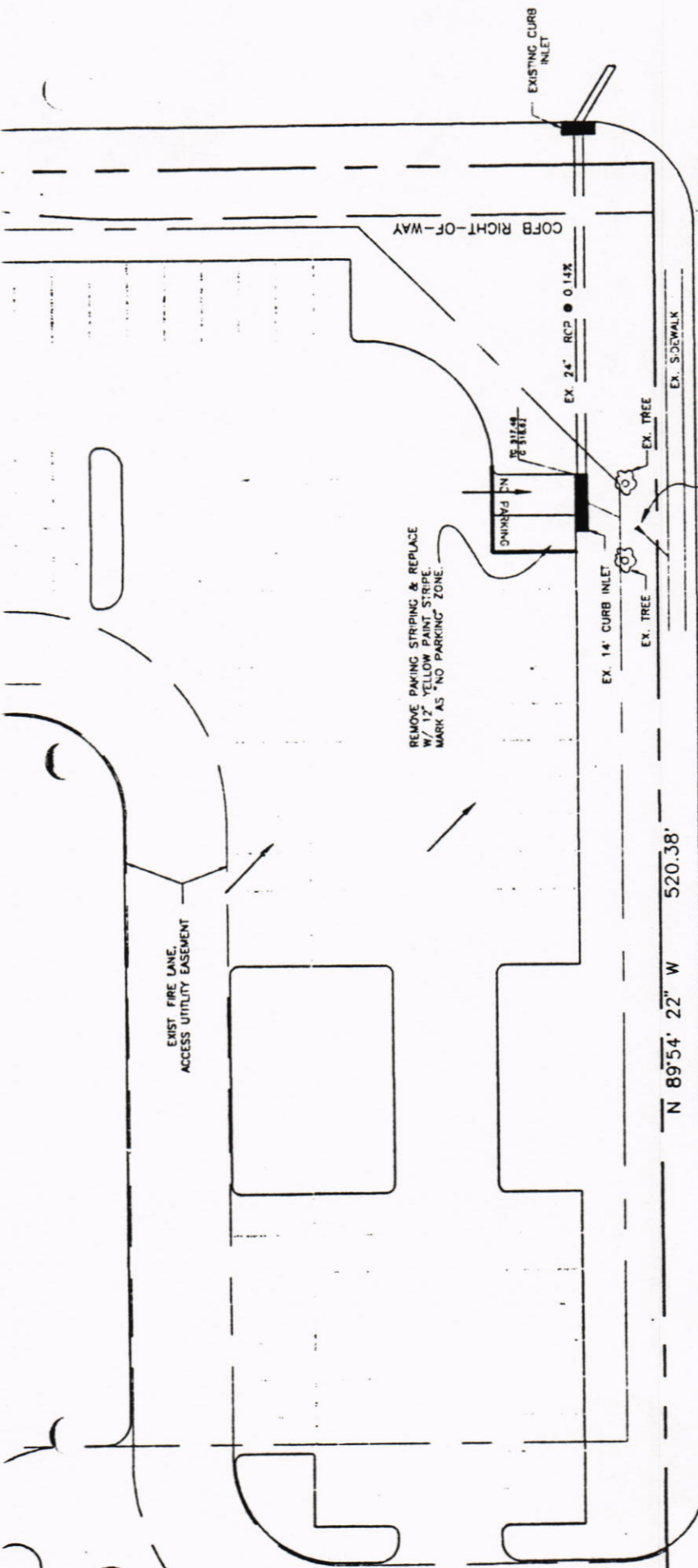


FILTER BARRIER

- A. SYNTHETIC FILTER FABRIC SHALL BE 8 OUNCE PER SQUARE YARD FABRIC AND SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID JOINTS.
- B. STAKES SHALL BE 2" X 2" WOOD (PREFERRED) OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- C. STAPLES SHALL BE OF HEAVY DUTY WIRE AT LEAST 1/2-INCH LONG.
- D. STAKES SHALL BE SPACED AROUND THE PERIMETER OF THE SITE A MAXIMUM OF 3 FEET APART AND SECURELY DRIVEN INTO GROUND (MINIMUM OF 18 INCHES).
- E. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE STAKES.
- F. THE FABRIC SHALL BE STAPLED TO THE WOODEN STAKES, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE HEIGHT OF THE FILTER BARRIER SHALL BE A MINIMUM OF 15 INCHES AND SHALL NOT EXCEED 18 INCHES.
- G. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FABRIC.

EXHIBIT "A"
(17 of 35)

VALLEY VIEW



CONTRACTOR TO CONSTRUCT AN EMERGENCY OVERFLOW SWALE, TO SLOPE FROM 6" ABOVE THE EX. TOP OF INLET TO THE EX. SIDEWALK W/ 3% SIDE SLOPES (MAX.), AND MAX. BOTTOM WIDTH OF 24" INCHES. CONTRACTOR TO MAINTAIN THE EXISTING BERM AND TO MAINTAIN THE EXISTING BERM LINE AND GENERALLY MAINTAIN THE EXISTING BERM CHARACTERISTICS WHERE PRACTICAL. CONTRACTOR TO COORDINATE THESE EFFORTS W/ THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING W/ CONSTRUCTION. CONTRACTOR TO ADJUST EX. IRRIGATION LINES AS NECESSARY.

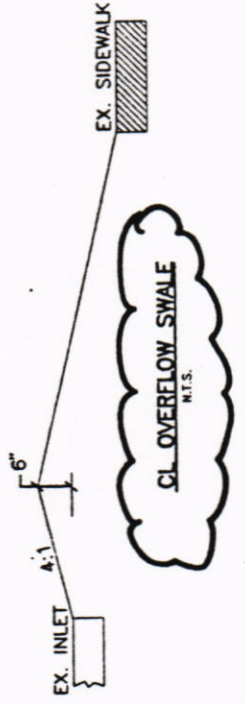
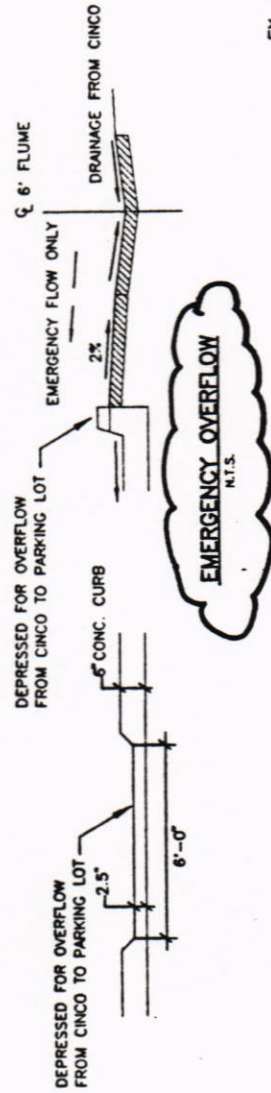


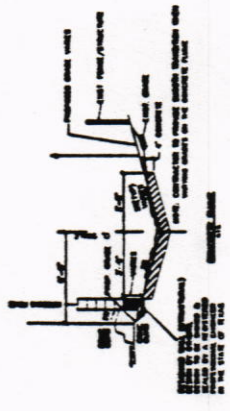
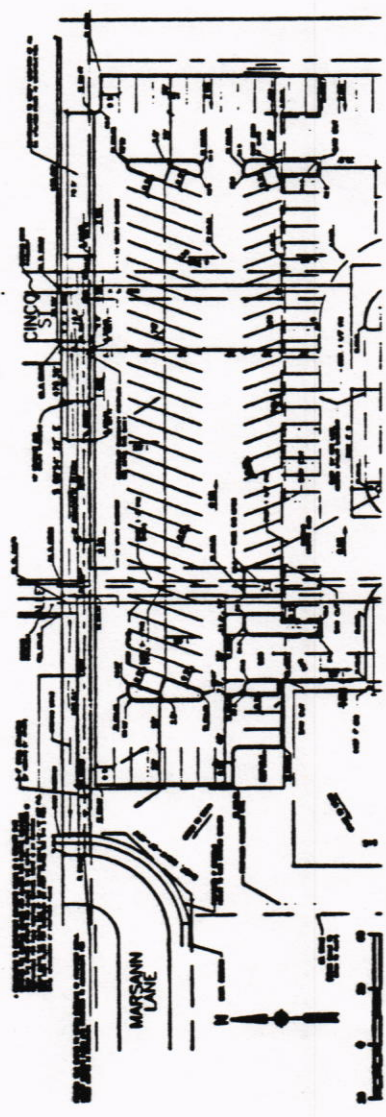
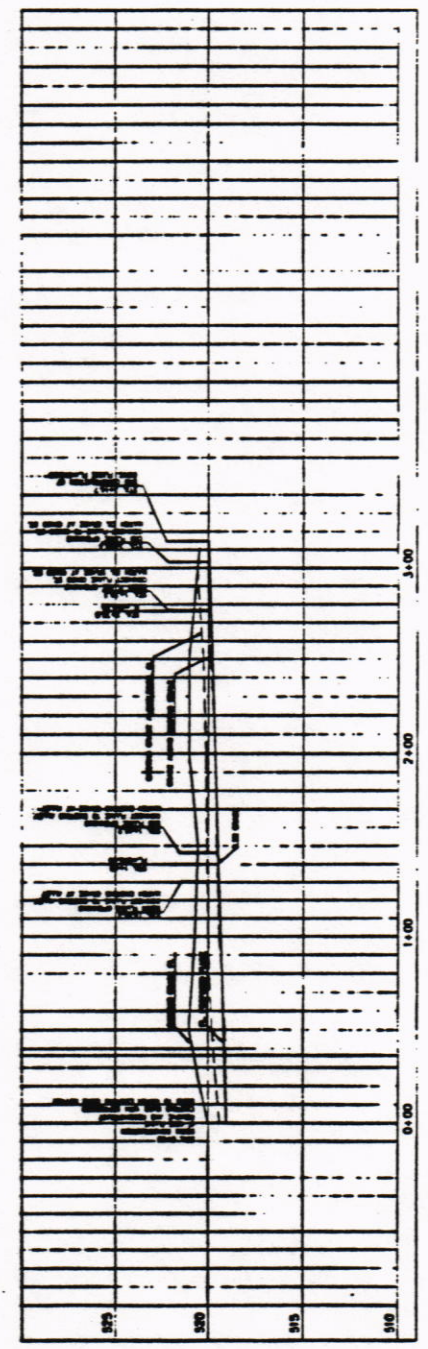
EXHIBIT "A" (18 of 35)

EXHIBIT "A" (19 of 35)

| AREA NO. | DRAINAGE AREA (ACRES) | RUNOFF COEFF. C | CA | TIME OF CONCENTRATION (MINS) | DESIGN STORM FREQUENCY (YRS) | INTENSITY (IN/HR) | STORM WATER RUNOFF Q (100) | INLET SIZE |
|---------------|-----------------------|-------------------|------|------------------------------|------------------------------|-------------------|------------------------------|------------|
| EXISTING AREA | 2.75 | 0.90 | 2.47 | 10 | 100 | 11.6 | 28.6 | 14' CURB |
| PROPOSED AREA | 3.57 | 0.90 | 3.21 | 10 | 100 | 11.6 | 37.2 | 14' CURB |

DRAINAGE DATA

EXHIBIT "A" (20 of 35)

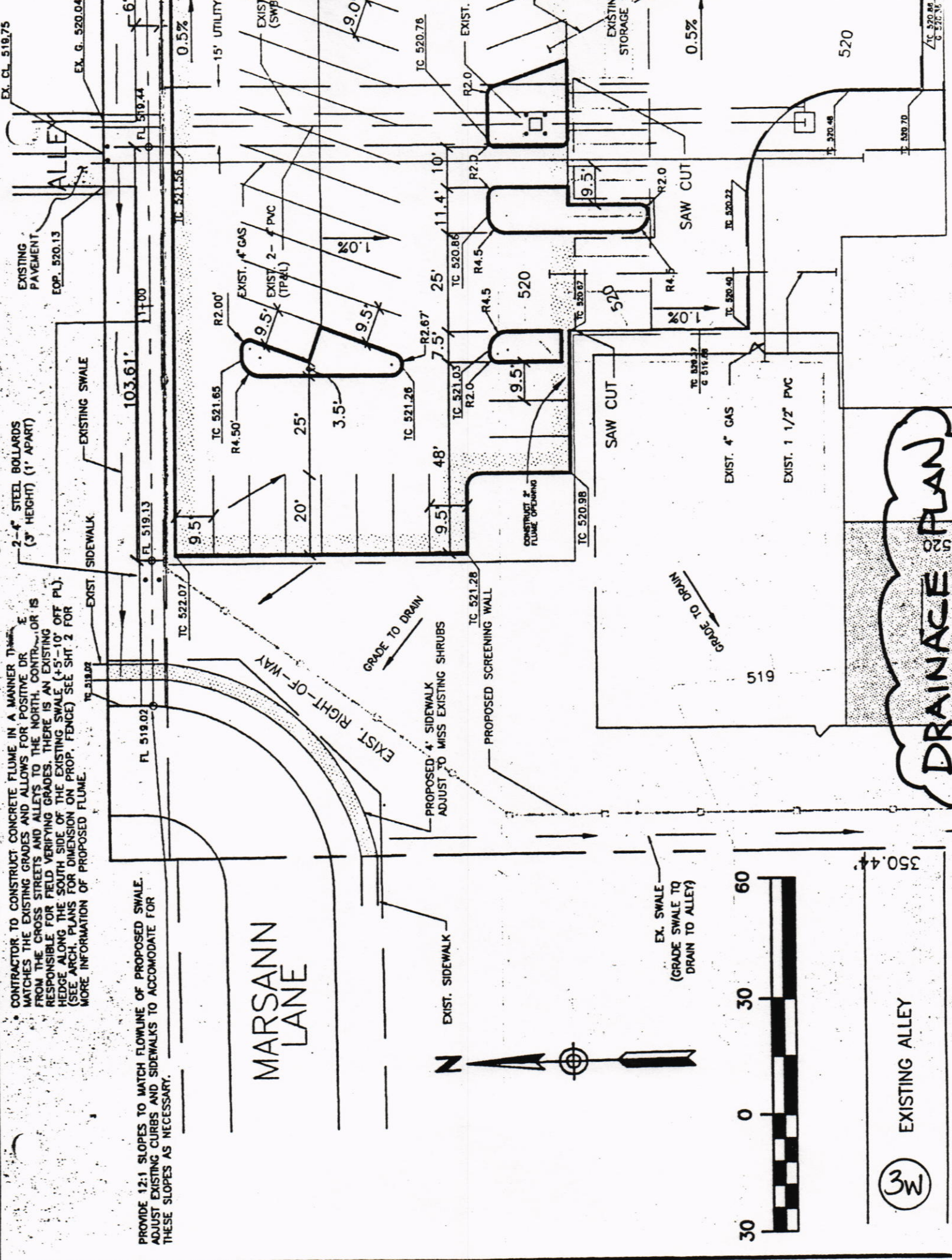


NOTES:
1. ALL CONCRETE SHALL BE 4000 PSI.
2. ALL REINFORCEMENT SHALL BE #4 BARS.
3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
4. ALL ELEVATIONS SHALL BE IN FEET ABOVE SEA LEVEL.
5. ALL DISTANCES SHALL BE IN FEET.
6. ALL STRUCTURES SHALL BE CONSTRUCTED TO WITHSTAND A DESIGN LOAD OF 100 PSF.
7. ALL STRUCTURES SHALL BE CONSTRUCTED TO WITHSTAND A DESIGN WIND LOAD OF 100 PSF.
8. ALL STRUCTURES SHALL BE CONSTRUCTED TO WITHSTAND A DESIGN EARTHQUAKE LOAD OF 0.2g.

CONTRACTOR TO CONSTRUCT CONCRETE FLUME IN A MANNER THAT MATCHES THE EXISTING GRADES AND ALLOWS FOR POSITIVE DRAINAGE FROM THE CROSS STREETS AND ALLEYS TO THE NORTH. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING GRADES. THERE IS AN EXISTING HEDGE ALONG THE SOUTH SIDE OF THE EXISTING SWALE (+5'-10" OFF PL). (SEE ARCH. PLANS FOR DIMENSION ON PROP. FENCE) SEE SHT. 2 FOR MORE INFORMATION OF PROPOSED FLUME.

PROVIDE 12:1 SLOPES TO MATCH FLOWLINE OF PROPOSED SWALE. ADJUST EXISTING CURBS AND SIDEWALKS TO ACCOMMODATE FOR THESE SLOPES AS NECESSARY.

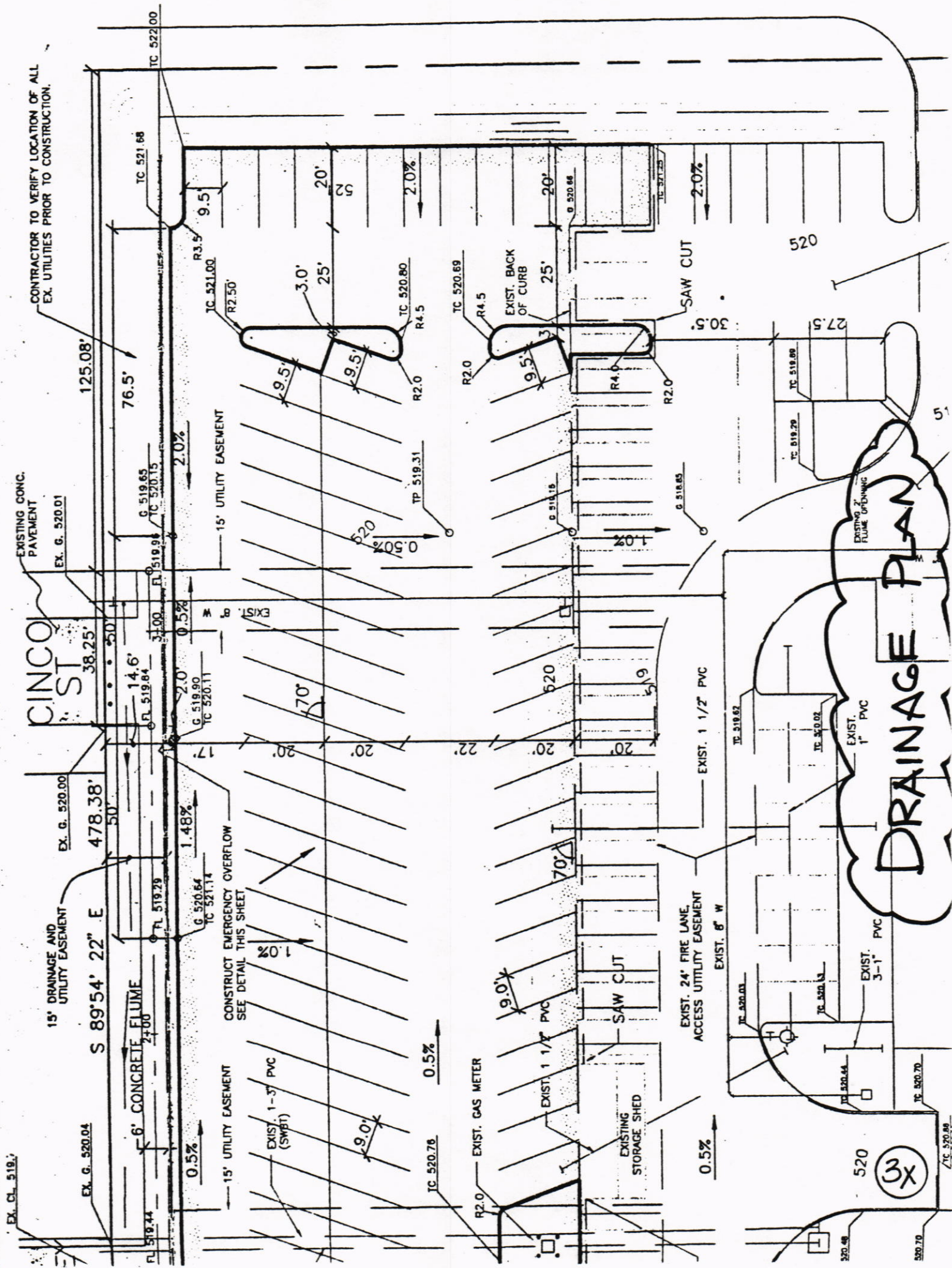
MARSANN LANE



DRAINAGE PLAN

EXISTING ALLEY

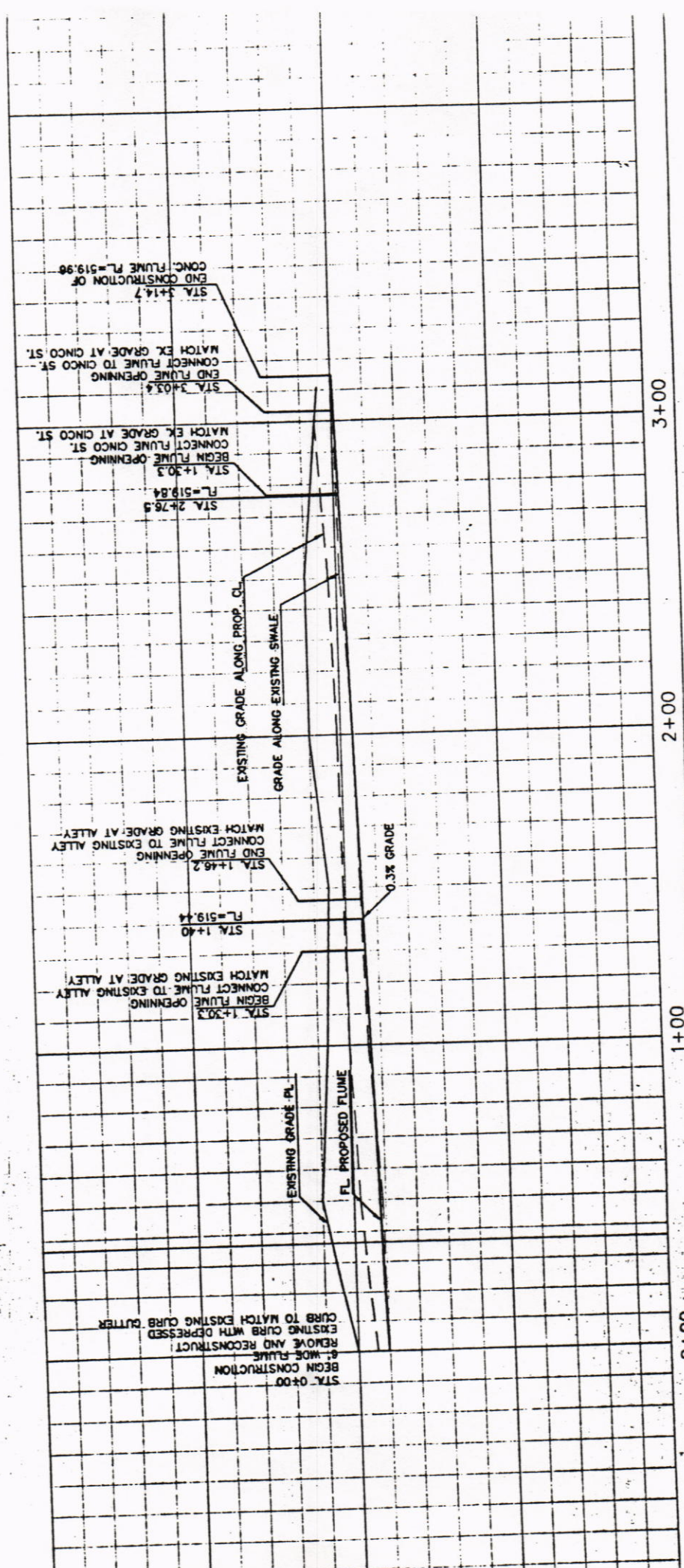
3W



3Y



EXHIBIT "A" (24 of 35)



FLUME DATA

PLAYGROUND EQUIPMENT SCHEDULE

NOTE: ALL EQUIPMENT BY KOMPAN, INC.

DESCRIPTION

MFR'S NUMBER

MS30

PIRATE

M117

CRAZY RABBIT W/ ANCHORING M12

M127

CRAZY BEAR W/ ANCHORING M12

M123

CRAZY NELLIE W/ ANCHORING M12

M121

CRAZY LAMB W/ ANCHORING M12

OK 2104

SHORT TOWER W/ SLIDE, LADDER, BARS & NET WALL

TYP. 1' WROUGHT IRON
FENCE SEGMENT

TYP. 1' WROUGHT IRON POST
W/ END CAP @ 8' O.C.
REF. 04/L1.1

TYP. MASONRY COL. @
24' O.C. AND GATE JAMBS
W/ STONE CAP, REF. 03/L1.1

4'-0" x 1'-0" WOOD MAINTENANCE
ACCESS GATE W/ LOCK. TO REMAIN
LOCKED EXCEPT FOR MAINTENANCE

TYP. 1' MASONRY SCREENING
WALL SEGMENT W/ STONE CAP
REF. 05/L1.1

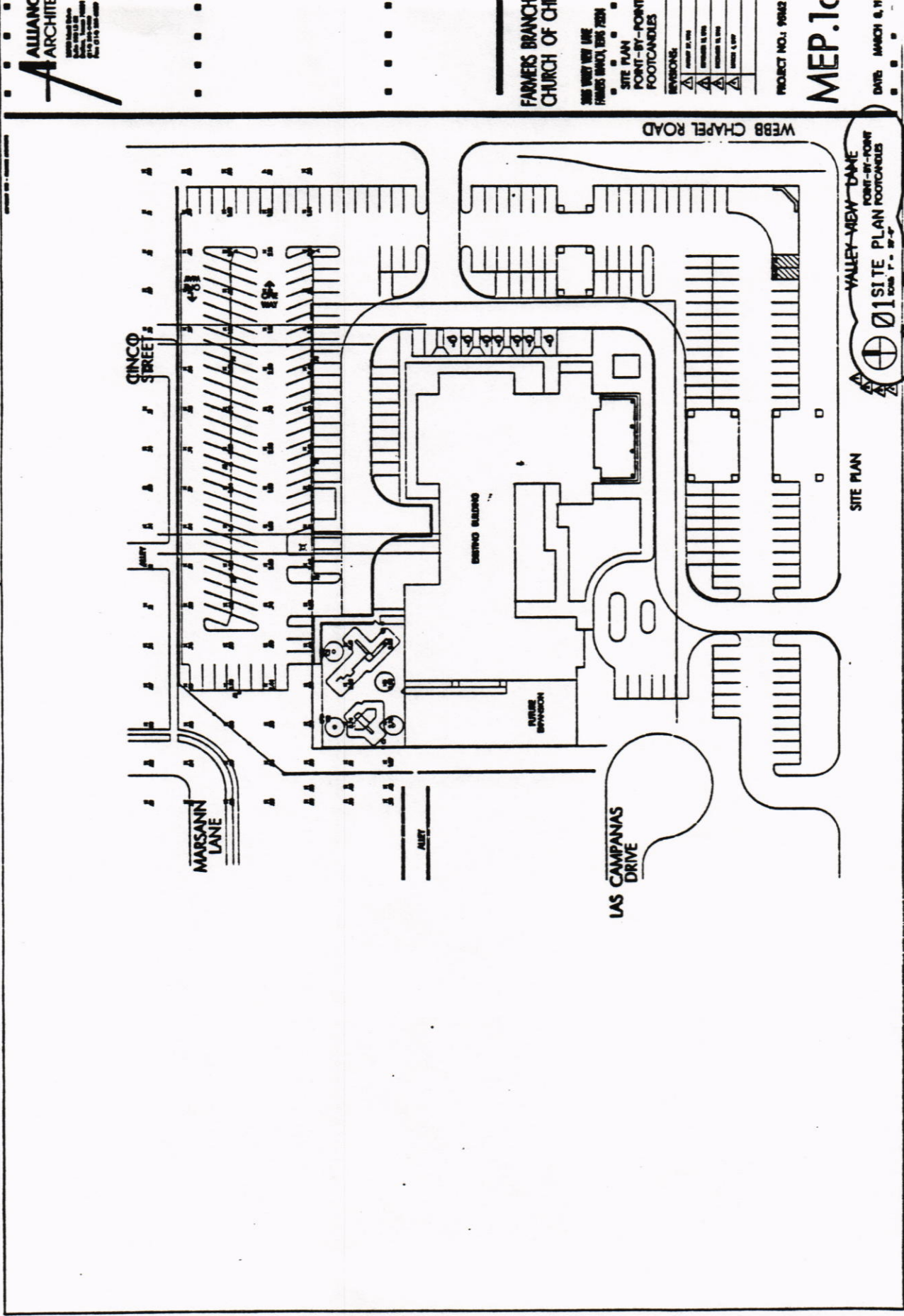
NOTE: FOR DESIGN INTENT ONLY

ELEVATION DETAIL @
SCREENING WALL

EXHIBIT A
(25 of 35)

3AA

EXHIBIT "A" (26 of 35)



ALLIANCE ARCHITECTS
 10000 N. CENTRAL EXPRESSWAY
 SUITE 1000
 DALLAS, TEXAS 75243
 PHONE (214) 343-1000
 FAX (214) 343-1001

FARMERS BRANCH CHURCH OF CHRIST

3000 WEST NEW LINE
 FARMERS BRANCH, TEXAS 75046

SITE PLAN
 POINT-BY-POINT
 FOOTCANDLES

| REVISIONS | DATE | BY | CHKD |
|-----------|----------|----------|----------|
| 1 | 10/10/00 | ALLIANCE | ALLIANCE |
| 2 | 10/10/00 | ALLIANCE | ALLIANCE |
| 3 | 10/10/00 | ALLIANCE | ALLIANCE |

PROJECT NO.: 19842

MEP.10

DATE: MARCH 8, 1991

VALLEY VIEW DRIVE
 POINT-BY-POINT
 FOOTCANDLES
 01 SITE PLAN FOOTCANDLES
 1000 P. 1 - 27-27

SITE PLAN

3AB

Ø1 SITE PLAN FOOTCANDLES



CINCO STREET

人

EXISTING BUILDING

FUTURE EXPANSION

(3A)

EXHIBIT A " (28 of 35)

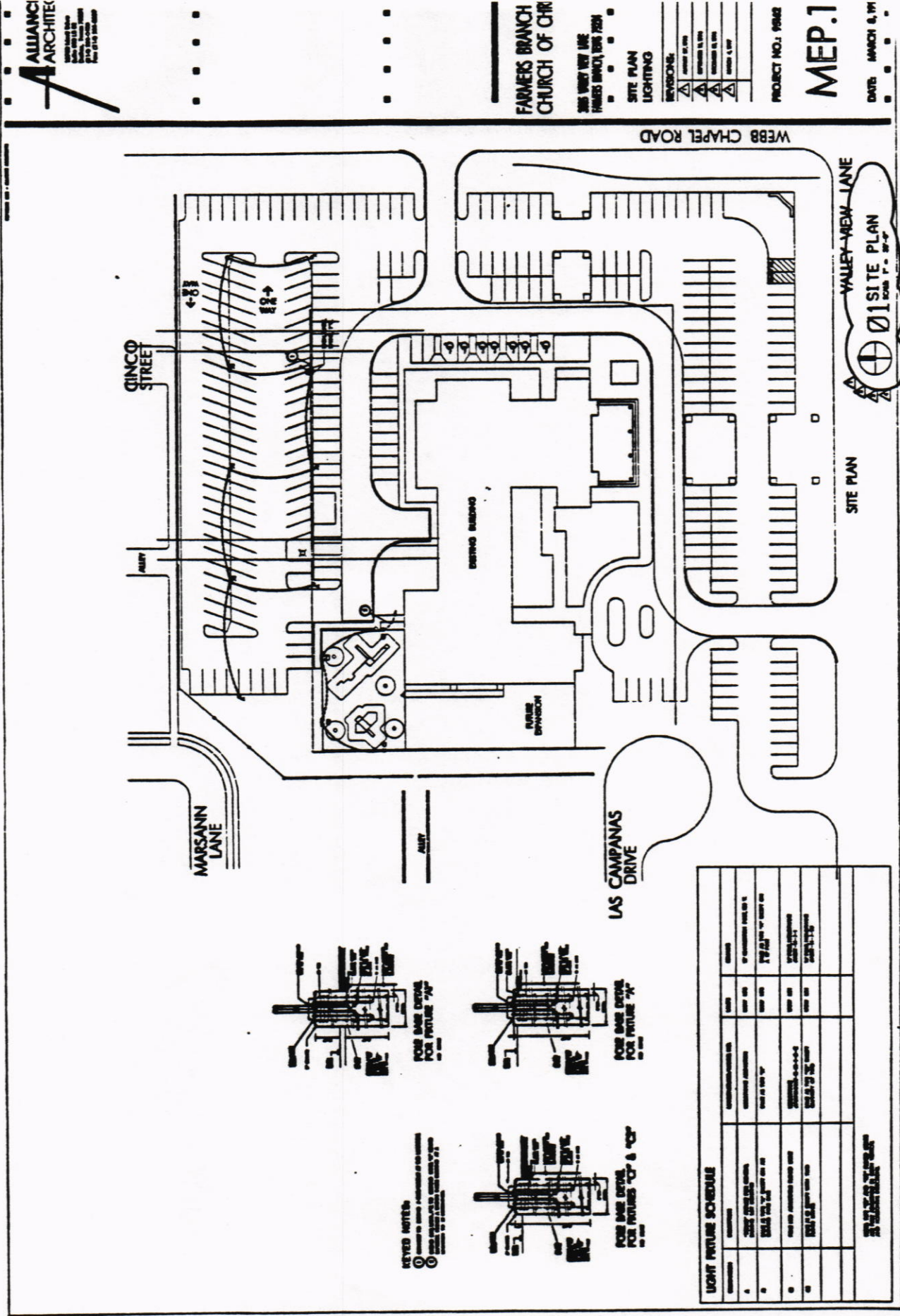


EXHIBIT "A" (29 of 35)

NO SCALE

LIGHT FIXTURE SCHEDULE

| DESIGNATION | DESCRIPTION | MANUFACTURER/MODEL NO. | LAMPS | REMARKS |
|-------------|---|--|----------|---------------------------------------|
| A | "PERIOD" FIXTURE FOR GENERAL PARKING LOT LIGHTING | HOLOPHANE ARLINGTON | 150W MPS | 12' CHARLESTON POST, 120 V. |
| A1 | SAME AS TYPE "A" EXCEPT ON AN ELEVATED POLE BASE | SAME AS TYPE "A" | 150W MPS | SAME AS TYPE "A" EXCEPT ON A 15' POST |
| C1 | POLE MTD ADJUSTABLE FLOOD LIGHT | HOLOPHANE #P0175MHMT-K-N-1-B-C | 175W MH | 14' POLE, HOLOPHANE #AZIT-M-J-1 |
| C2 | SAME AS C1 EXCEPT WITH TWO FLOOD LIGHTS | SAME AS TYPE "C1" EXCEPT QUANTITY OF TWO | 175W MH | 14' POLE, HOLOPHANE #AZIT-M-J-2U |
| | | | | |
| | | | | |

NOTE: TYPE "C1" AND "C2" FLOOD LIGHTS ARE FULLY ADJUSTABLE IN BOTH VERTICAL AND HORIZONTAL DIRECTIONS.

EXHIBIT "A" (30 of 35)

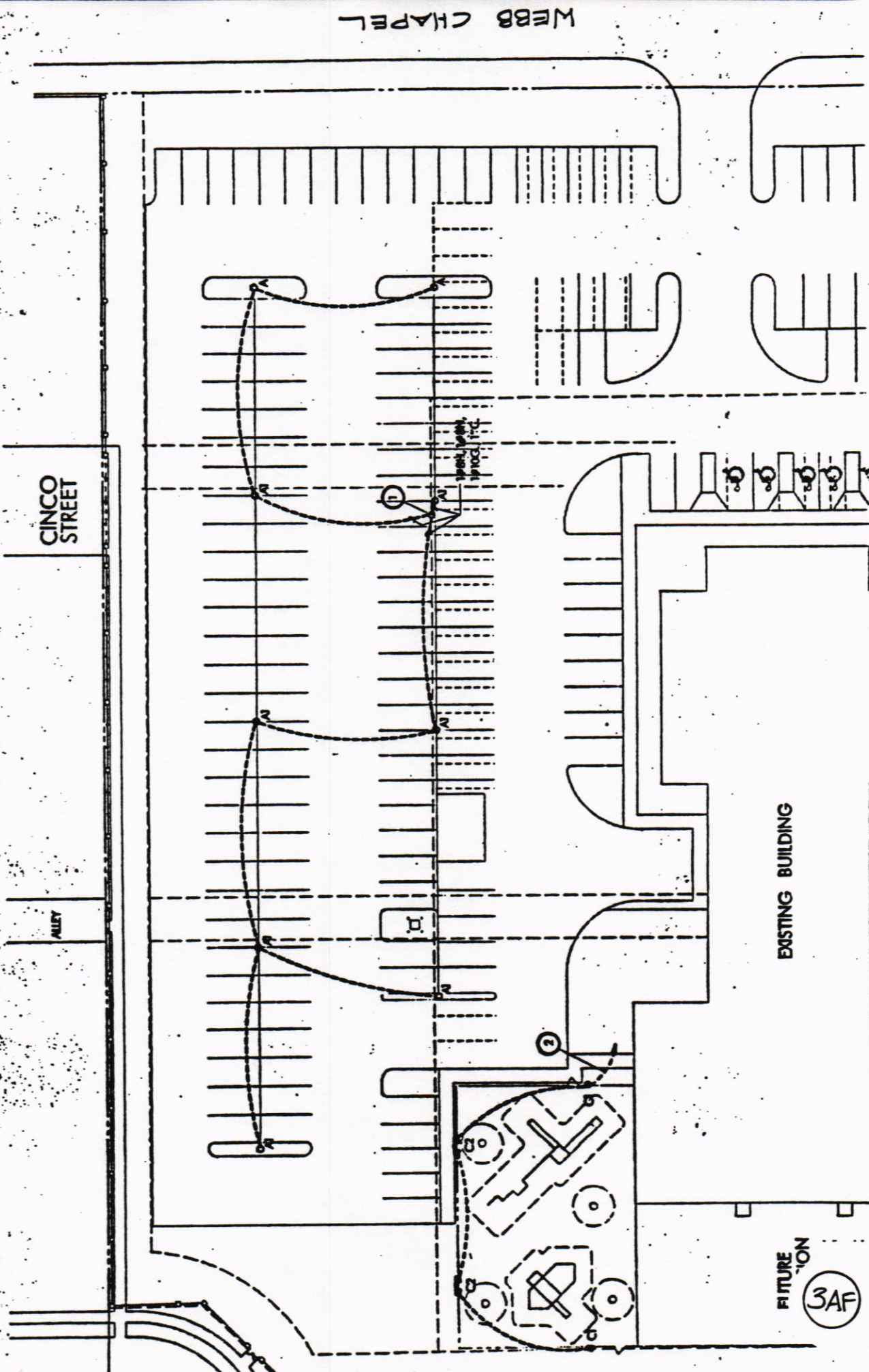
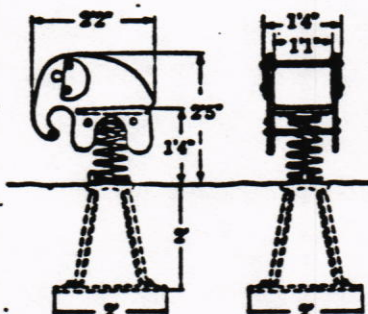


EXHIBIT "A" (31 of 35)

M 123 **Crazy Nellie** with anchoring M 12



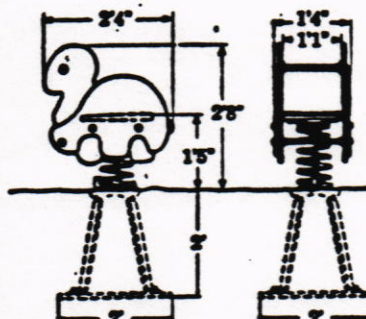
Best user age: 1-4 years
Installation: 1-2 hours/1 worker
Area incl. safety zone: 15'6" x 14'6"
Materials: Painted KOMPAN panels, polyurethane seat with plywood core, polypropylene handhold and foothold with steel core. Spring complete with foundation.
Order Nos.
M12301 - Red with white ears
M12311 - Blue with white ears



M 124 **Crazy Turtle** with anchoring M 12



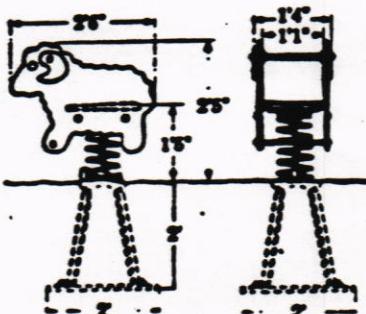
Best user age: 2-5 years
Installation: 1-2 hours/1 worker
Area incl. safety zone: 15'6" x 14'6"
Materials: Painted KOMPAN panels, polyurethane seat with plywood core, polypropylene handhold and foothold with steel core. Spring complete with foundation.



M 121 **Crazy Lamb** with anchoring M 12



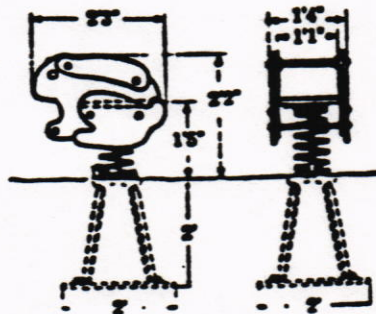
Best user age: 2-5 years
Installation: 1-2 hours/1 worker
Area incl. safety zone: 15'6" x 14'6"
Materials: Painted KOMPAN panels, polyurethane seat with plywood core, polypropylene handhold and foothold with steel core. Spring complete with foundation.



M 117 **Crazy Rabbit** with anchoring M 12



Best user age: 2-5 years
Installation: 1-2 hours/1 worker
Area incl. safety zone: 15'6" x 14'6"
Materials: Painted KOMPAN panels, polyurethane seat with plywood core, polypropylene handhold and foothold with steel core. Spring complete with foundation.



M 100 Crazy Hen~

The Crazy Hen is a classic among KOMPAN's spring favorites. It swings and sways, and its shape radiates the joy of life. Children love it!

The traditional color of the Crazy Hen has been red. Now we present a rainbow of multi-colored Crazy Hens. The Crazy Hen is now available in the following colors: red, orange, yellow, white, blue and ultramarine.

We are introducing a new and even safer foot support as well as a new shock absorbing seat material.

Series 100



M 100 Red

NEW DESIGN.

Many improvements due to USCPSC compliance: refer to technical catalog.



M 100 Yellow



M 100 Blue



M 100 Orange



M 100 White



M 100 Ultramarine

EXHIBIT "A" (32 of 35)

OK 2104



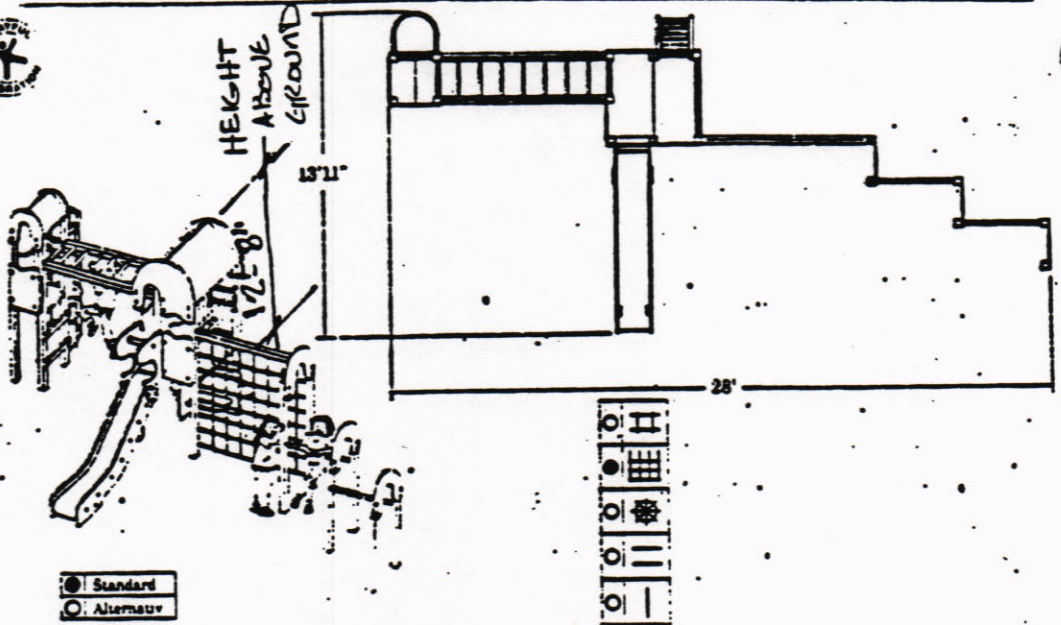
Required user age:
4-8 years
for USCPSC compliance
Installation:
16-18 hours/2 workers

Area incl. safety zone:
35'6" x 40'8"

Consists of large tower
(floor height 4'6"), small
tower (floor height 4'6"),
cory corner, ladder,
narrow tower net,
overhead ladder, climbing
net (small mesh),
2 somersault bars and
slide.

Tower modules D1, E1
(without play wall)
Basic module A4
Connecting module
M 827-06

Plastic slide available.



KOMPAN
PLAYGUARD
BigToys

P.O. BOX 551149
DALLAS, TX 75355-1149

TENDERFUN
SOFT PLAYGROUNDS

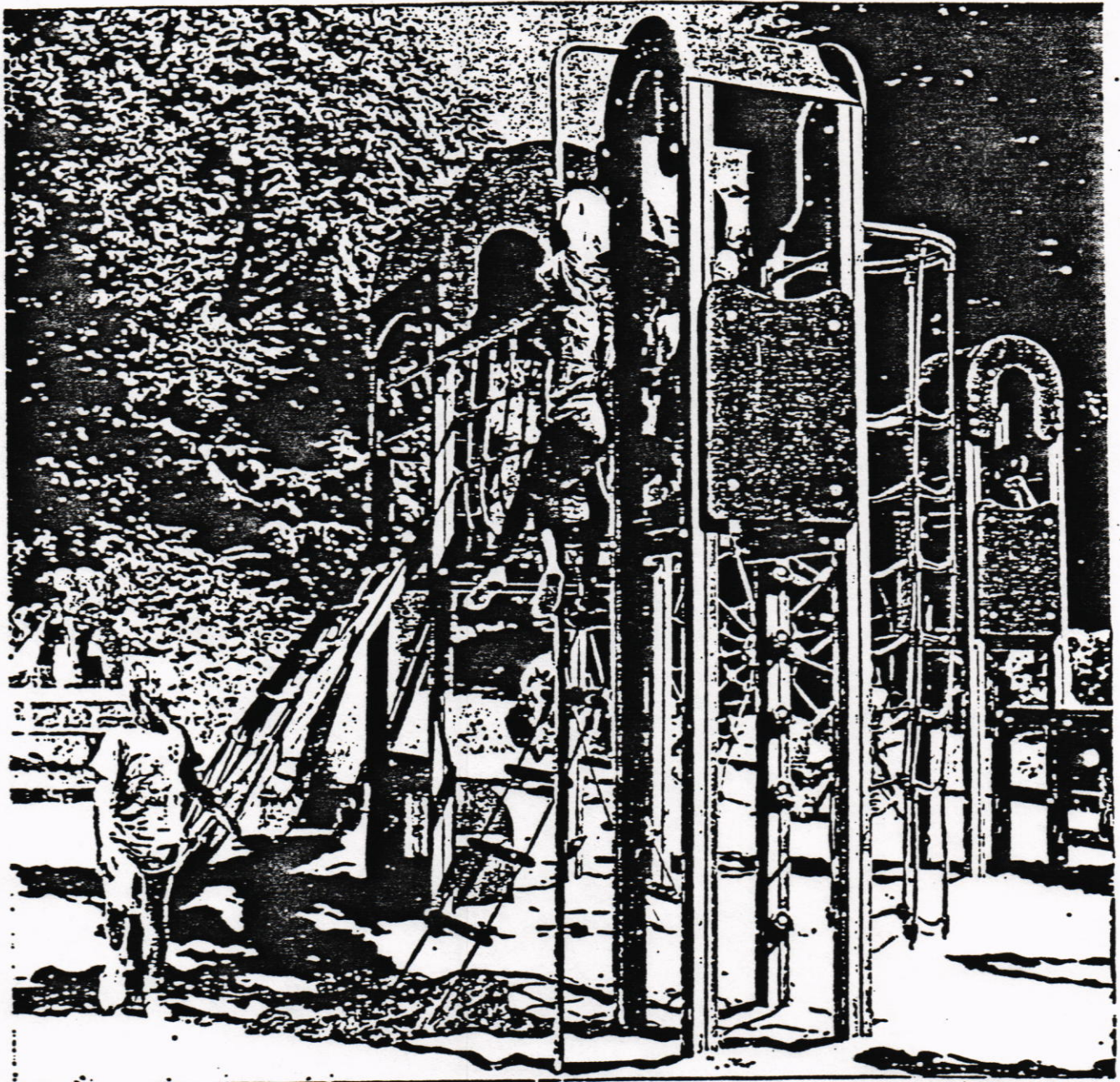
JAY ROBERTSON
214/349-0000
1-800-KIDS PLAY

EXHIBIT "A" (33 of 35)

3AI

OK - OASIS™

*Not as pictured! See Tec. drawing next page!



A new generation is on its way, full of expectations and hopes. Their future depends on the conditions we give them today.

Play is a key to development, being together and happiness.

KOMPAN's OASIS opens possibilities for excitement, speed and movement, but also for quiet times. The OASIS is the place where many children can meet to play and to try out physical skills. Children learn and gain experience at the OASIS.

KOMPAN always does their best to ensure that children are in safe hands when they play. Furthermore, the OASIS is a pleasant visual experience for children and adults.

Children's physical play is made up of many different activities: jumping, climbing, swinging, hanging, sliding. Sometimes head first and other times feet first.

All these strengthen muscles and joints, concentration and physical co-ordination. As the child gradually masters more and more skills they try out new possibilities. This is called development.

Play activities can take place at ground level and at floor levels 4'6" and 5'10" off the ground - as well as in between.

A fall-absorbing resilient ground cover should be placed under and around playground equipment

3A5

MS 30 KOMPAN Pirate



Required user age: 4-8 years
for USCPSC compliance
Installation: 25-30 hours/2 workers

Area incl. safety zone: 32' x 34'6"

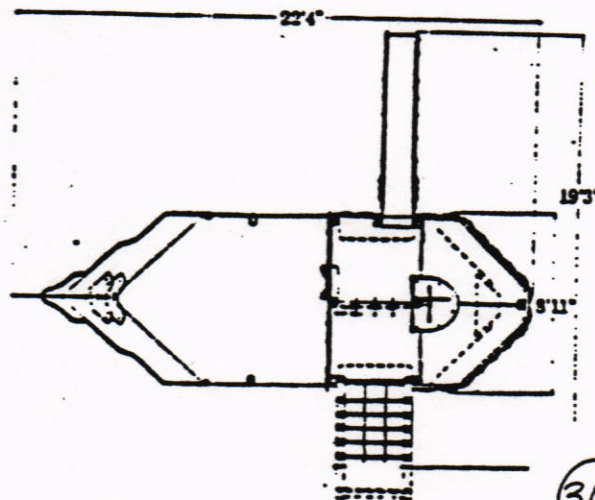
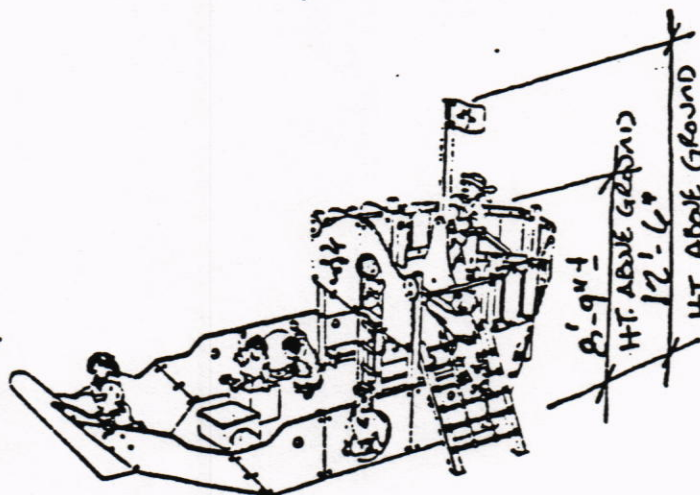
Materials: Painted KOMPAN panels, floor and benches of KOMPAN panel with textured resin coating, polypropylene net with steel reinforcement, stainless steel slide bed, polypropylene safety bars with steel core, polyurethane edges, hardwood rungs, pressure impregnated pine posts and sub-structure.

Footings: In-ground posts.
Non wood footings available.

Consists of:

- M 540 Bow
- M 544 Side Panel with hole - 2 pcs.
- M 545 Stern with black steering wheel, red steering wheel, mast with flag and play wall.
- M 545 11 Short Baluster Side
- M 365-31 Slide
- M 83A-01 Boarding Net

Plastic slide available



3AK

EXHIBIT "A" (35 of 35)